

SITE NOTES

- 1. BUILDING OUTLINES SHOWN BASED ON ARCHITECTURAL FLOOR PLAN PROVIDED BY OWNER. CONTRACTOR SHALL VERIFY WITH OWNER/ARCHITECT/ENGINEER EXACT DIMENSIONS OF FOUNDATION. STAKE OUT SHALL BE PER FOUNDATION PLAN PROVIDED BY OWNER AND NOT BASED ON DIMENSIONS SHOWN OR SCALED HERE
- ON.

 2. COORDINATE WITH ARCHITECTURAL PLANS FOR EXACT LOCATION OF WATER AND SEWER AND OTHER UTILITY
- 3. COORDINATE LOCATION OF LEADWALK WITH DOOR LOCATIONS PER ARCHITECTURAL PLANS.
- 4. ALL DIMENSIONS AND RADII REFER TO FLOWLINE OF CURB OR EDGE OF PAVEMENT.
- 5. ALL CURB TERMINATIONS SHALL HAVE 2' NOSEDOWNS, UNLESS OTHERWISE SPECIFIED OR SHOWN HEREON.
- 6. COORDINATE WITH UTILITY SERVICE PROVIDERS FOR THE RELOCATION OF EXISTING UTILITIES, IF REQUIRED, AND FOR THE INSTALLATION OF PROPOSED UTILITIES.
- 7. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.

GRADING NOTES

- 1. USE EROSION CONTROL MATTING FOR ALL SIDE SLOPES 3:1 OR STEEPER.
- 2. STOCKPILE STRIPPED TOPSOIL AT AN OFFSITE LOCATION WITH AN APPROVED SEDIMENT CONTROL PLAN AS
- 3. SPOT ELEVATIONS REFER TO EDGE OF PAVEMENT, FLOWLINE OF CURB OR GROUND SURFACE.
- 4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
- 5. PROVIDE A SMOOTH GRADING TRANSITION BETWEEN ALL DISTURBED AND EXISTING AREAS.
- 6. SIDEWALKS SHALL HAVE MAX CROSS SLOPE OF 2.0% AND MAX LONGITUDINAL SLOPE OF 5.0%.
- 7. LANDING PAD AT DOOR ENTRANCES SHALL HAVE 2.0% MAX SLOPE. SIZE OF LANDING PAD PER PLAN AND CODE REQUIREMENTS.
- 8. CONTRACTOR SHALL CLEAN ACCUMULATED SEDIMENT FROM ALL DITCHES AND PIPING UPON COMPLETION OF
- PROJECT.

 9. IMPORTED STRUCTURAL FILL SHALL BE TESTED PER ASTM D-1557 FOR MAXIMUM DRY DENSITY AND
- OPTIMUM MOISTURE CONTENT. ALL STRUCTURAL SOILS SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- 10. PROPOSED PARKING LOT BASE SHALL BE PROOF ROLLED AND APPROVED BY ENGINEER PRIOR TO ASPHALT PLACEMENT.

11. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR RELOCATION OF UNDERGROUND ELECTRIC/CATV/PHONE AND OTHER UTILITIES AS REQUIRED.

PROPOSED ADA RAMP

ANY AND ALL CONSTRUCTION OF ADA PARKING & ACCESS FACILITIES SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS, DETAILS AND STANDARDS AND WITH THE CODE OF FEDERAL REGULATIONS—28CFR PART 36—ADA STANDARDS FOR ACCESSIBLE DESIGN—LATEST EDITION. CONTRACTOR IS STRONGLY ENCOURAGED TO CONTACT THE LOCAL APPROVAL AUTHORITY, PRIOR TO CONSTRUCTION, FOR ACCEPTABLE CONSTRUCTION TOLERANCES ASSOCIATED WITH ALL HANDICAP FACILITIES. 28CFR PART 36 DOES NOT PROVIDE SPECIFIC CONSTRUCTION TOLERANCES PERTAINING TO CONSTRUCTED FACILITY APPROVAL. LANE ENGINEERING, LLC ACCEPTS NO RESPONSIBILITY FOR FACILITIES AS CONSTRUCTED.

MINOR ANOMALIES IN INFRASTRUCTURE, BOTH EXISTING AND PROPOSED, TO WHICH RAMPS AND LANDINGS ARE TIED CAN RESULT IN NON-COMPLIANCE WITH ADA LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING FORMS AS NEEDED TO ENSURE COMPLIANCE WITH THE MINIMUM AND MAXIMUM SLOPES ILLUSTRATED IN THE JURISDICTION SPECIFIC RAMP DETAILS. THE JURISDICTION SPECIFIC SIDEWALK RAMP DETAILS ARE PROVIDED TO ILLUSTRATE MATERIAL SPECIFICATIONS AND MAX/MIN ALLOWABLE SLOPES. DO NOT RELY UPON THE DIMENSIONS PROVIDED—THEY MAY RESULT IN NON-COMPLIANCE WITH ADA LAWS.

SITE & UTILITY KEY NOTES

- 1) TIE TO EXISTING PAVEMENT/SIDEWALK W/ SMOOTH TRANSITION (TYP)
- 2 INSTALL FULL DEPTH EXPANSION MATERIAL WHERE CONCRETE ABUTS RIGID STRUCTURES AND/OR CURBING (TYP)
- 6" CONCRETE CURB AND GUTTER PER DETAIL (TYP). MATCH EXISTING CURB PROFILE ON RAILROAD AVE.
- 4 DEPRESSED CURB AND GUTTER PER DETAIL
- 5 2' NOSEDOWN
- (6) RELOCATED STOP SIGN (30"x30" R1-1)
- 5' CONCRETE OR BRICK SIDEWALK PER DETAIL (TYP). MATERIAL TO BE DETERMINED BY OWNER.
- TRANSITION FROM 6" CURB AND GUTTER TO DEPRESSED CURB AND
- GUTTER
- PARALLEL SIDEWALK ADA RAMP PER DETAIL. NOTE, CURB RAMP LANDING TIE-IN TO EXISTING EDGE OF PAVEMENT WILL NOT BE ADA COMPLIANT WITH CROSS SLOPES. CONTRACTOR TO PROVIDE MAXIMUM

COMPLIANCE GIVEN THE CONNECTION TO EXISTING FIELD CONDITIONS.

PROPOSED LANDSCAPE AREA TO BE DESIGNED BY OTHERS - MATCH EXISTING ELEVATION -4" PERF. PVC DRAINTILE FOR FOUNDATION (REFER TO ARCH PLANS FOR DETAILS)— EXISTING COMMUNITY CENTER TO BE RENOVATED WITH — DEMO EXISTING CONCRETE COMMERCIAL KITCHEN PAD AND REPLACE. PROVIDE EXISTING CHURCH SMOOTH TRANSITIONS. (4,622 SF±) -MATCH EXISTING FLOW LINE PROPOSED HANDRAIL (REFER TO ARCHITECTURAL PLANS FOR DETAILS) (TYPICAL OF 2)-9.42 BC 8.92 FL PROPOSED ADA HANDRAIL EXISTING EDGE OF PAVEMENT EDGE TO BE PRESERVED (REFER TO ARCHITECTURAL -DEMO EXISTING CONCRETE DURING EXISTING CURB SIDEWALK AND REPLACE PLANS FOR DETAILS) REMOVAL -WITH ADA ACCESSIBLE RAMP (TYPICAL OF 2) EXISTING SIGN -9.00 FL 9.41 BC 8.91 FL 7 9.13 **15.0**° MATCH EXISTING FLOW LINE 9.15 BC 8.59 BC 8.65 FL CONTRACTOR TO INSTALL SPILL GUTTER AS NEEDED TO PROMOTE DRAINAGE TO 8.50 FL EXISTING INLET IN RAILROAD AVENUE — EXISTING STORM DRAIN INLET EXISTING EDGE OF PAVEMENT. PROVIDE SMOOTH TRANSITION RAILROAD AVENUE EDGE TO BE PRESERVED DURING FROM CURB FLOWLINE TO EXISTING CURB REMOVAL EXISTING STORM DRAIN INLET— PUBLIC RIGHT-OF-WAY TIE TO EXISTING CURB AND **GUTTER WITH SMOOTH TRANSITION—** PROPOSED NEW CROSS WALK AND STOP BAR-

THESE PLANS HAVE BEEN REVIEWED AND APPROVED AND ARE CONSIDERED TO BE AN AMENDMENT TO THE FINAL APPROVED SIMPLIFIED SITE PLANS.

ST. MICHAELS ZONING OFFICER

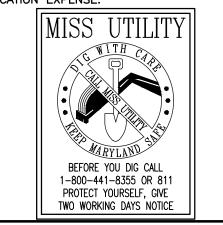
THE PURPOSE OF THESE PLANS IS TO PROVIDE REVISED CONSTRUCTION INFORMATION REGARDING ADDITION OF SITE LIGHTING, RELOCATION OF DUMPSTER PAD, RELOCATION OF EXISTING WALK—IN REFRIGERATOR, AND PROPOSED CONCRETE SIDEWALK/RAMP.

KENIZIONZ					
No.	DATE	DESCRIPTION	BY		
			1		
I Dillian					

WARNING!!

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON—SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON—SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.



Lane Engineering, LLC

Established 1986

Civil Engineers • Land Planning • Land Surveyors

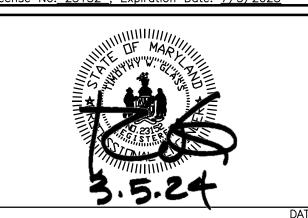
E-mail: general@leinc.com

117 Bay St. Easton, MD 21601 (410) 822-8003

15 Washington St. Cambridge, MD 21613 (410) 221-0818

354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/5/2025



STREET FRONTAGE
IMPROVEMENTS
FIELD CHANGE EXHIBIT

ON THE LANDS OF
THE ST. MICHAELS
COMMUNITY CENTER, INC.

IN THE TOWN OF ST. MICHAELS, MARYLAND
TALBOT COUNTY, MARYLAND
TAX MAP 200, PARCEL 1552

AGENCY REVIEW
AGENCY REVIEW
CLIENT REVIEW
AGENCY REVIEW
FIELD CHANGE EXHIBIT
AGENCY REVIEW
FIELD CHANGE EXHIBIT
AGENCY REVIEW
AGENCY REVIEW

SCALE IN FEET

12/10/20 BCE 5/20/21 BCE 1/5/22 BCE 6/9/22 BCE 4/14/23 BCE 12/4/23 BCE 2/27/24 BCE 3/4/24 BCE

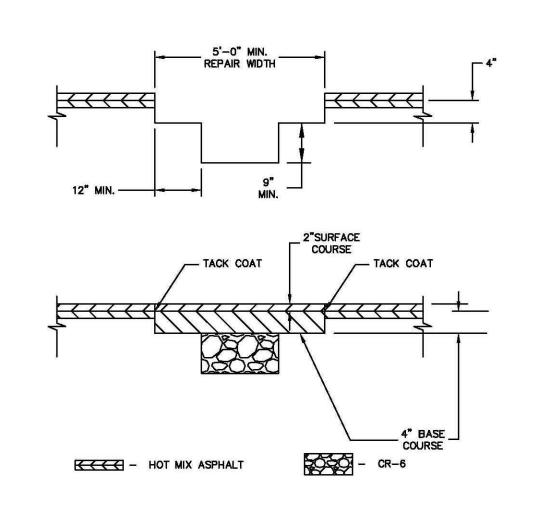
DATE: 12/10/20

2 OF 5

JOB No. 200436

FILE No. 2569

Date: 03/04/2024 — 11:20am User: nhoxter Project Manager: BCE Drawing Path: J:\2020\0400\200436\Civil3D—200436\Dwg\Plots\FieldChangeE

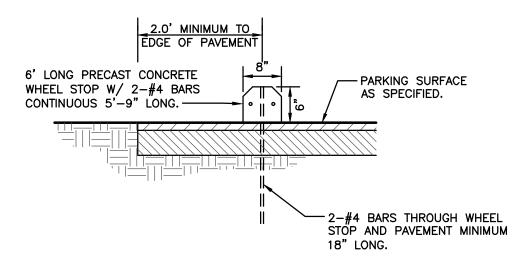


- 1. PAVEMENT SHALL BE SAW CUT FULL DEPTH OF THE EXISTING PAVEMENT SECTION. ALL CUTS SHALL BE MADE IN STRAIGHT LINES.
- 2. IF PATCH FALLS WITHIN 2' OF EXISTING CURB OR EDGE OF PAVING, CONTINUE RESTORATION TO EDGE OF
- 3. SURFACE COURSE: 2" OF 9.5mm SUPERPAVE.
- BASE COURSE: 4" OF 9.5mm, 12.5mm OR 19.0 mm SUPERPAVE IN 2-2" LIFTS./NOTE: IF SC & BC ARE BOTH 9.5mm, THEY MAY BE DONE IN 2-3" LIFTS.
- THE SAME RELATIVE VICINITY. LIMITS OF MILL AND OVERLAY, WHEN REQUIRED, WILL BE DETERMINED BY THE

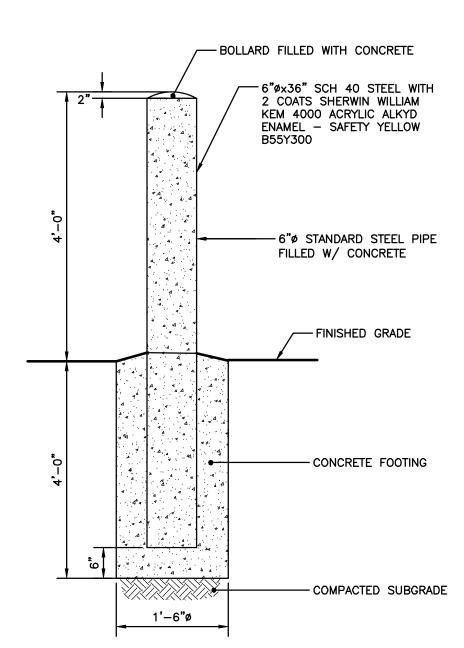
ADDITIONAL MILL AND OVERLAY MAY BE REQUIRED WHEN MULTIPLE PAVEMENT REPAIRS ARE LOCATED IN

- 5. WHEN SURFACE ARES OF REPAIR EXCEEDS 100 SF, THE 2" SURFACE COURSE SHALL EXTEND ENTIRE WIDTH OF TRAVEL LANE(S) AND/OR SHOULDER. LIMITS OF MILL AND OVERLAY, WHEN REQUIRED, WILL BE DETERMINED BY THE TOWN ENGINEER.
- 6. CONTRACTOR MUST CONFIRM LIMITS OF PAVEMENT REQUIRED WITH TOWN ENGINEER PRIOR TO START OF PAVEMENT WORK.

PERMANENT PAVEMENT REPAIR DETAIL NOT TO SCALE



CONCRETE WHEELSTOP DETAIL



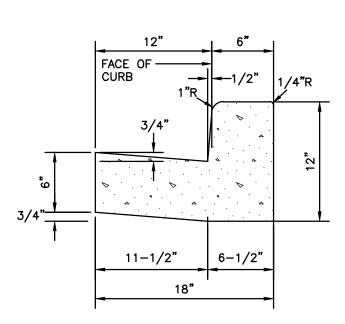
BOLLARD DETAIL

CONCRETE SHALL BE MDOT SHA MIX NO 3

11-1/2" ─NO. 4 REBAR 11-1/2" 6-1/2"

- ALL DEPRESSED CURB & GUTTER CONCRETE SHALL BE MDOT SHA
- 2. CURB & GUTTER SHALL HAVE CONTROL JOINTS EVERY 10'-0", AND CONTRACTION/EXPANSION JOINTS EVERY 40'-0". EXTRUDED CONCRETE CURB & GUTTER SHALL HAVE CONTRACTION JOINTS EVERY 10'-0", AND EXPANSION JOINTS EVERY 100'-0".
- 3. AT HANDICAP RAMPS, CURB PAN MAXIMUM SLOPE SHALL BE 20:1
- 4. ALL DRIVEWAYS REQUIRE 3 PIECES OF NO. 6 REBAR, FULL LENGTH OF DEPRESSED CURB.
- *RISE AT HANDICAP RAMPS SHALL BE 1/2".

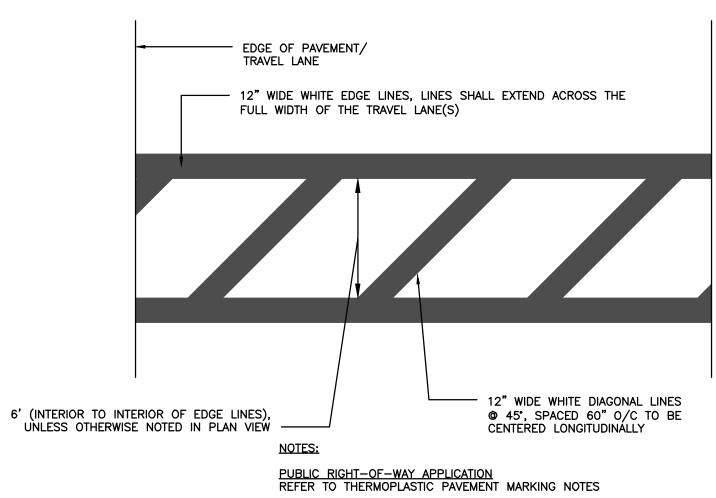
DEPRESSED CONCRETE CURB AND GUTTER DETAIL NOT TO SCALE



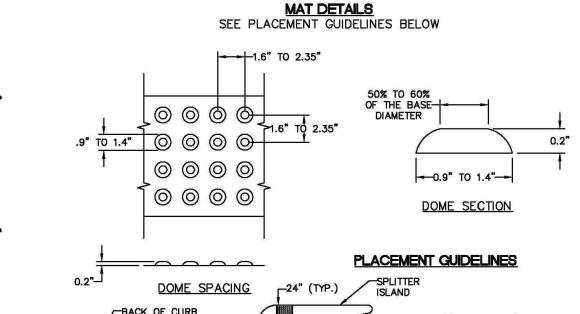
NOTES:

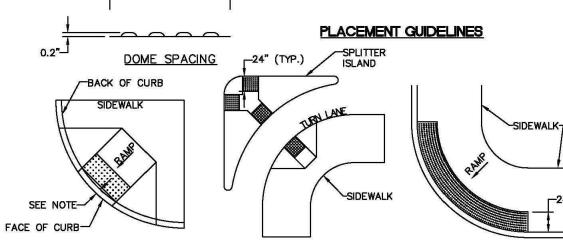
- 1. ALL CURB & GUTTER CONCRETE SHALL BE MDOT SHA MIX NO. 3.
- 2. CURB & GUTTER SHALL HAVE CONTROL JOINTS EVERY 10'-0", AND CONTRACTION/EXPANSION JOINTS EVERY 40'-0". EXTRUDED CONCRETE CURB & GUTTER SHALL HAVE CONTRACTION JOINTS EVERY 10'-0", AND EXPANSION JOINTS EVERY 100'-0".
- 3. AT HANDICAP RAMPS, CURB PAN MAXIMUM SLOPE SHALL BE 20:1

CONCRETE CURB AND GUTTER DETAIL NOT TO SCALE



PRIVATE PROPERTY APPLICATION
REFER TO PAINT PAVEMENT MARKING NOTES STANDARD CROSSWALK DETAIL NOT TO SCALE





REFUGE ISLAND WHERE ISLANDS OR MEDIANS ARE LESS THAN 6 FEET WIDE, THE DETECTABLE WARNING SHOULD EXTEND ACROSS THE FULL LENGTH OF THE CUT THROUGH THE ISLAND OR MEDIAN.

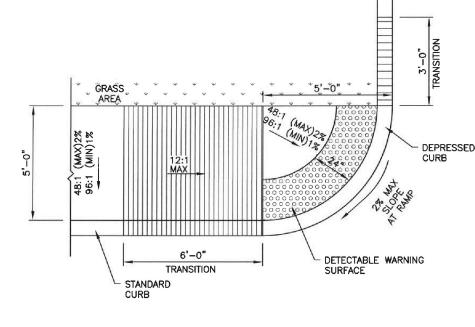
THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 TO 8 INCHES FROM THE FACE OF CURB.

FOR SKEWED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO

BLENDED CURB

- THE BACK OF CURB ARE NO LESS THAN 0.5" AND NO MORE THAN 3.0" FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
- DETECTABLE WARNING SURFACES SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS. DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSING AND SIGNALIZED INTERSECTIONS.

DETECTABLE WARNING SURFACES NOT TO SCALE

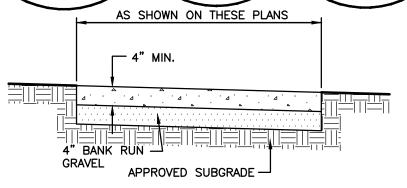


- 1. SURFACE TEXTURE OF RAMPS SHALL BE COARSE BROOMING OR NON-SKID TYPE SURFACE.
- HANDICAPPED RAMPS SHALL BE REINFORCED WITH 6X6 W1.4XW1.4 WELDED WIRE MESH.
- 3. HANDICAPPED RAMPS SHALL CONTAIN A 6" THICK CONCRETE
- 4. AT NO POINT SHALL THE SLOPE OF THE LANDING BE
- GREATER THAN 48:1 (2%), INCLUDING DIAGONAL. 5. THERE SHALL BE A LANDING PRIOR TO THE RAMPS, THE

LANDING SHALL BE 36" IN LENGTH, MINIMUM.

SIDEWALK RMAP

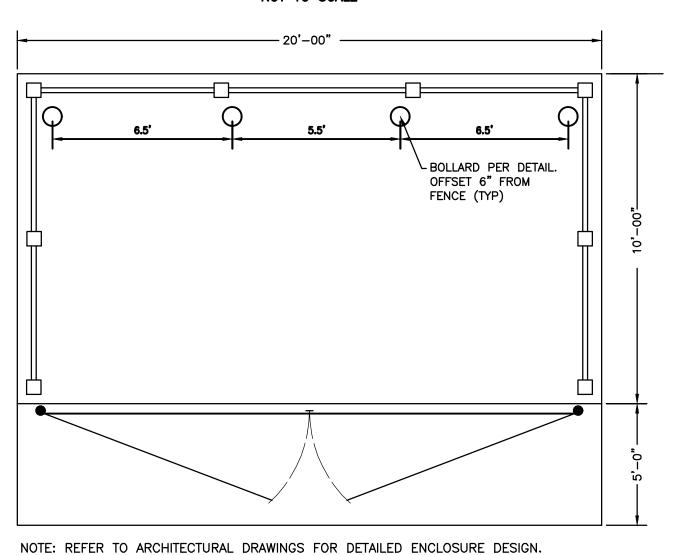
NOT TO SCALE



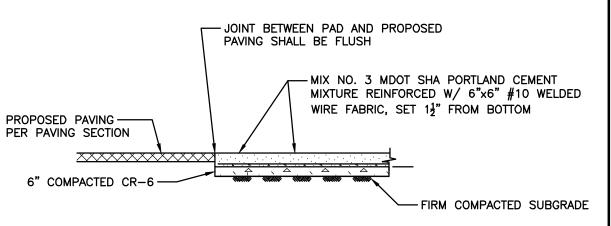
- 1. SUBGRADE AND BANK RUN GRAVEL TO BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557).
- 2. CONCRETE SHALL BE MDOT SHA MIX NO. 3.
- 3. 1/8"x1" DEEP SAWCUT CONTROL JOINTS AT 5'-0" INTERVALS.
- 4. CONTRACTION/EXPANSION JOINTS AT INTERVALS NO GREATER THAN 20'-0".
- 5. 1/2" THICK PRE-FORMED EXPANSION JOINT MATERIAL AT EXPANSION JOINTS.
- 6. PROVIDE ADEQUATE CROSS SLOPE OR LONGITUDINAL SLOPE AS APPLICABLE, 1/4" PER 1'-0" MIN.

PREFORMED EXPANSION JOINT MATERIAL —

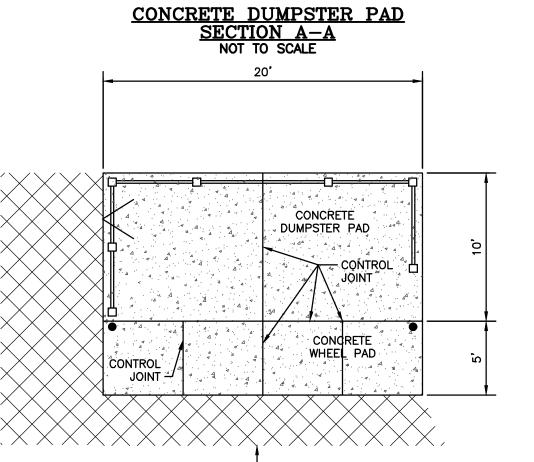
CONCRETE SIDEWALK DETAIL NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL NOT TO SCALE



SEE GRADING NOTE FOR COMPACTION REQUIREMENTS.



CONCRETE DUMPSTER
PAD DETAIL
NOT TO SCALE

PROPOSED PAVING

E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095 PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by

REVISIONS

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR

SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING

UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE

THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING

UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF

ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING

UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

BEFORE YOU DIG CALL

1-800-441-8355 OR 811

PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

Lane Engineering, LLC

Established 1986

Civil Engineers • Land Planning • Land Surveyor

ANY RELOCATION EXPENSE.

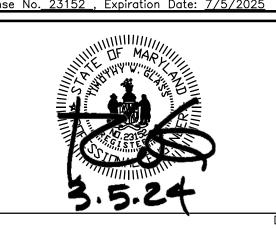
SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN

DESCRIPTION

No. DATE

me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/5/2025



SITE DETAILS

ON THE LANDS OF THE ST. MICHAELS COMMUNITY CENTER, INC. IN THE TOWN OF ST. MICHAELS, MARYLAND TALBOT COUNTY, MARYLAND TAX MAP 200, PARCEL 1552

ISSUED FOR: AGENCY REVIEW
AGENCY REVIEW
CLIENT REVIEW
AGENCY REVIEW FIELD CHANGE EXHIBIT AGENCY REVIEW FIELD CHANGE EXHIBIT AGENCY REVIEW

12/10/20 BCE 5/20/21 BCE 1/5/22 BCE 6/9/22 BCE 4/14/23 BCE 2/27/24 BCE 3/4/24 BCE

12/10/20 3 OF 5 200436 AS NOTED

2569 FILE No.

THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE BELOW AND ARE CONSIDERED FINAL APPROVED SIMPLIFIED SITE PLANS.

ST. MICHAELS ZONING OFFICER

PLANTING SCHEDULE: PLANTING SCHEDULES SHALL COINCIDE WITH THE OVERALL PROGRESS OF SITE CONSTRUCTION. CERTAIN PLANT SPECIES REQUIRE SPECIFIC SEASON INSTALLATION AND SHALL BE COORDINATED APPROPRIATELY. PLANTING IS DISCOURAGED IN THE HOT. DRY PERIODS OF SUMMER AND DURING FROZEN GROUND CONDITIONS OF WINTER, BUT MAY BE CONSIDERED YEAR-ROUND WITH MAINTENANCE REQUIREMENTS ADDRESSED ACCORDINGLY. THE CONTRACTOR IS RESPONSIBLE FOR PLANT MATERIAL HEALTH AND VIGOR REGARDLESS OF WHEN THE MATERIAL IS INSTALLED. RECOMMENDED PLANTING TIMEFRAMES:

- BALL & BURLAP STOCK OCTOBER 15 THRU APRIL 15.
- CONTAINER STOCK YEAR—ROUND WITH ADEQUATE WATER.

NON-BUFFER TREE MITIGATION REQUIREMENTS & PROPOSAL

INTENSELY DEVELOPED AREAS (IDA): PER TOWN OF ST. MICHAELS § 340-15(D)

FOREST AND WOODLAND VEGETATION.

NO TREES EXISTING ONSITE.

PERIMETER LANDSCAPING.

TREES PROVIDED

PLANTING PROVIDED.

GENERAL REQUIREMENTS

THE LANDSCAPE ARCHITECT.

ADJUSTMENTS NECESSARY

OWNER/DEVELOPER AND CONTRACTOR.

DISEASED OR IS OTHERWISE UNHEALTHY.

INDUSTRY STANDARD PRACTICES AND TECHNIQUES.

SITE PLANTING CONDITIONS WARRANT RE-DESIGN CONSIDERATIONS.

SITE, AND TO REJECT ANY DEFICIENT MATERIAL AT THE JOB SITE.

SHALL NOT RELIEVE THE CONTRACTOR OF ADEQUATE MAINTENANCE.

CONTRACTOR AND/OR HIS ASSIGNS SHALL BE BORNE BY CONTRACTOR

WORK TO BE COMPLETED AFTER LANDSCAPE INSTALLATION.

TOTAL PLANT LIST

SYM QUAN SCIENTIFIC NAME

AG 1 AMELANCHIER X

HERBACEOUS PERENNIALS

TO 7 THUJA OCCIDENTALIS

'SMARAGD'

FLOWERING / UNDERSTORY TREES

BRILLIANCE'

IG 9 ILEX GLABRA 'COMPACTA'

EP 34 ECHINACEA PURPUREA

'SILVER SPRITE'

GRANDIFLORA 'AUTUMN

MC 3 MORELLA PENSYLVANICA BAYBERRY

'POWWOW WILD BERRY'

SH 67 SPOROBOLUS HETEROLEPIS PRAIRIE

EVERGREEN TREES

SHRUBS

SIDE AND REAR LOT LINES.

FOREST AND WOODLAND VEGETATION; AND

NORTHERN PARKING LOT PERIMETER: 105' OF PARKING PERIMETER

EASTERN PARKING LOT PERIMETER: 37' OF PARKING PERIMETER

PROPOSED. INTERIOR LANDSCAPING WILL BE ADDED WHERE FEASIBLE.

4. OUTDOOR STORAGE OF MATERIALS, SUPPLIES, AND EQUIPMENT.

LANDSCAPE PLANT MATERIAL AND INSTALLATION SPECIFICATIONS

SCREENING REGULATORY/ZONING REQUIREMENTS PER \$340-179

TREES AND 3 EVERGREEN TREES PROVIDED.

2. INTERIOR LANDSCAPING FOR PARKING LOTS

GROUND-MOUNTED MECHANICAL EQUIPMENT;

3. REFUSE/RECYCLING/GREASE CONTAINERS; AND

2. ROOF-MOUNTED MECHANICAL EQUIPMENT;

(1) DEVELOPMENT ACTIVITIES SHALL BE DESIGNED AND IMPLEMENTED TO MINIMIZE THE DESTRUCTION OF

ASSOCIATED WITH CURRENT OR PLANNED DEVELOPMENT ACTIVITIES, THE FOLLOWING SHALL BE REQUIRED:

DEVELOPED WOODLAND RESOURCES, SUCH AS PROGRAMS FOR URBAN FORESTRY THAT INVOLVE

(b) DEVELOPMENT ACTIVITIES SHALL BE DESIGNED AND IMPLEMENTED TO MINIMIZE THE DESTRUCTION OF

(c) DEVELOPMENT ACTIVITIES SHALL ADDRESS THE PROTECTION OF EXISTING FORESTS AND DEVELOPED

(d) WHEN A PARKING LOT IS LOCATED IN THE INTERIOR SIDE OR REAR LOT ABUTTING ANOTHER LOT WITH

1 UNDERSTORY TREES PER 100' = 105'/100 = 1 UNDERSTORY TREES REQUIRED, 1 UNDERSTORY

1 UNDERSTORY TREES PER 100' = 37'/100 = 1 UNDERSTORY TREES REQUIRED, 4 EVERGREEN

50% OF PARKING LOT PERIMETER = 37'/2 = 18' OF PARKING LOT SHRUBS REQUIRED, 25' OF

THERE IS AN EXISTING PARKING LOT THAT WILL BE RECONFIGURED. NO NEW IMPERVIOUS AREA

(A) IF APPLICABLE THE FOLLOWING FEATURES MUST BE SCREENED FROM VIEW OF PUBLIC RIGHT-OF-WAYS,

COMPLIANCE WITH THE TERMS OF THIS LANDSCAPE PLAN, INCLUDING ALL MAINTENANCE AND WARRANTY

REQUIREMENTS PRESCRIBED HEREON IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. MAINTENANCE AND WARRANTY TERMS AND RESPONSIBILITIES OF THE CONTRACTOR SHALL BE AS NEGOTIATED BETWEEN

THE CONTRACTOR SHALL DILIGENTLY ATTEMPT TO LOCATE THE SPECIFIED PLANT MATERIAL. IF SPECIFIED

PLANT MATERIALS CANNOT BE LOCATED, ALTERNATIVES MAY BE CONSIDERED AND APPROVED, IN ADVANCE, BY

PRIOR TO LANDSCAPE INSTALLATION, THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE

THE LANDSCAPE ARCHITECT SHALL REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET SPEC, IS

GENERAL: ALL LANDSCAPE INSTALLATION SHALL BE ACCOMPLISHED WITH QUALIFIED PERSONNEL, UTILIZING

THE CONTRACTOR (CONTRACTOR) IS RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL LANDSCAPING

SHOWN OR IMPLIED ON THIS PLAN. PLANT QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. PRIOR TO INSTALLATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF PROPOSED SPECIES AND/OR

PLANT MATERIAL: ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK

AS APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. LATEST ADDITION. ALL PLANT MATERIAL

SHALL BE NURSERY GROWN WITH SOUND HORTICULTURAL PRACTICES AND UNLESS OTHERWISE APPROVED BY

MATERIAL SHALL EXHIBIT HEALTHY GROWTH WITH GOOD BRANCHING STRUCTURE. DENSE FOLIAGE AND A

FIBROUS, DEVELOPED ROOT SYSTEM. ALL MATERIAL SHALL BE FREE OF INSECT INFESTATION AND DISEASE.

THE OWNER RESERVES THE RIGHT TO HAVE THE PLANT MATERIAL INSPECTED AND TAGGED AT THE GROWING

PLANT MATERIAL HANDLING: ALL PLANT MATERIAL SHALL ARRIVE AT THE JOB SITE IN A HEALTHY CONDITION.

CRACKED ROOT BALLS AND OTHER DAMAGED MATERIALS SHALL BE REJECTED AND REPLACED BY

CONTRACTOR, THE CONTRACTOR SHALL STAGE DELIVERY AND PLANT INSTALLATION TO MINIMIZE STRESS ON

PLANT MATERIAL. MATERIAL TO BE STAGED ON OR OFF THE JOB SITE SHALL BE LOCATED TO MAXIMIZE

PROTECTION FROM HOT SUN AND DRYING WINDS, AND SHALL BE WATERED TO MAINTAIN A STRESS FREE CONDITION. ON-SITE WATER MAY NOT BE AVAILABLE FOR CONTRACTOR USE. THE LACK OF AVAILABLE WATER

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING

WORK. COORDINATE WITH OTHER CONTRACTORS ON SITE AND MISS UTILITY TO VERIFY UTILITY LOCATIONS. ANY

REPAIRS TO EXISTING UNDERGROUND UTILITIES REQUIRED AS A RESULT OF ACTIONS OF THE

CONTRACTOR SHALL VERIFY THAT FINAL ROUGH GRADES HAVE BEEN ESTABLISHED AND THAT THE SITE IS READY FOR LANDSCAPE INSTALLATION THE CONTRACTOR SHALL INSURE THAT PLANTINGS WILL HAVE THAT ADEQUATE DRAWAGE. THE CONTRACTOR SHALL INSTALL PLANT MATERIAL FACTORING IN ANY "FINAL" GRADING

COMMON NAME SPECIFICATION

POWWOW PURPLE QUART, 18" O/C

2" CAL. MIN,

18" HGT, MIN, 4' O/C

18" HGT, MIN, 5' O/C

QUART, 18" 0/C

EMERALD GREEN 6' HGT. MIN,

ARBORVITAE

AUTUMN

COMPACT

BRILLIANCE

SERVICEBERRY

CONEFLOWER

DROPSEED

INKBERRY HOLLY

THE LANDSCAPE ARCHITECT, GROWN IN SOIL AND CLIMATIC CONDITIONS SIMILAR TO THIS PROJECT SITE. ALL

LANDSCAPE ARCHITECT TO REVIEW THE PLAN, SITE AND DRAINAGE CONDITIONS AND TO DETERMINE ANY FIELD

PUBLIC OPEN SPACES AND LOTS ZONED FOR RESIDENTIAL PURPOSES, AS SPECIFIED IN THIS SECTION:

THE SAME ZONING CLASSIFICATION. MINIMUM PARKING LOT PERIMETER LANDSCAPING SHALL INCLUDE

UNDERSTORY TREES AT THE RATE OF ONE PER 100 FEET AND SHRUB GROUPINGS OF NO LESS THAN

THREE LIVE PLANTS ALONG AT LEAST 50% OF THE PARKING LOT PERIMETER ALONG ABUTTING INTERIOR

50% OF PARKING LOT PERIMETER = 105'/2 = 53' OF PARKING LOT SHRUBS REQUIRED AND PROVIDED.

(a) PARTICIPATION IN PROGRAMS ESTABLISHED IN THE TOWN FOR THE ENHANCEMENT OF FOREST AND

(6) WHEN THE CUTTING OR CLEARING OF TREES IN FORESTS AND DEVELOPED WOODLAND AREAS ARE

STREET TREE PLANTING, GARDENS LANDSCAPING, AND OPEN LAND BUFFER PLANTINGS;

WOODLANDS IDENTIFIED AS HABITAT PROTECTION AREAS IN THIS CHAPTER.

LANDSCAPE REGULATORY/ZONING REQUIREMENTS PER \$340-178(C)

- BARE -ROOT TREES/SHRUBS NOVEMBER 15 THRU APRIL 15.
- TURF SEED AUGUST 15 THRU NOVEMBER 1, MARCH 1 THRU APRIL 15.
- TURF SOD INSTALLATION OCTOBER 15 THRU MARCH 15, BALANCE OF YEAR WITH ADEQUATE IRRIGATION.

PLANTING BED/PIT PREPARATION: CONTRACTOR SHALL LAYOUT BEDS AND POSITION PLANTS FOR APPROVAL BY LANDSCAPE ARCHITECT. REVIEW ANY SIGNIFICANT FIELD ADJUSTMENTS PRIOR TO INSTALLATION. ALL BED AREAS SHALL BE TREATED WITH HERBICIDE TO KILL WEED OR GRASS VEGETATION.

ALL TREE PITS AND INDIVIDUAL SHRUB PLANTING PITS SHALL BE EXCAVATED TO A DEPTH SO THAT THE PLANT ROOT FLARE SHALL LIE AT THE FINISHED GRADE SURROUNDING THE PLANT OR PLANTINGS. REMOVE SOIL THAT MAY HAVE BEEN PLACED ON TOP OF ROOT BALL OR SETTLED AROUND TRUNK OR ROOT FLARE DURING TRANSPORT TO ADEQUATELY EXPOSE ROOT FLARE SO PROPER PLANTING DEPTH CAN BE ESTABLISHED. THE ROOT BALL SHALL REST ON UNDISTURBED OR STABILIZED SOIL. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THIS PLANTING DEPTH SPECIFICATION CANNOT BE IMPLEMENTED. TREE PLANTING PITS SHALL BE EXCAVATED TO A WIDTH EQUALING TWICE THE ROOT BALL DIAMETER. TREE PITS ON SLOPED AREAS SHALL BE EXCAVATED TO THE PROPER DEPTH BASED ON THE UPHILL SIDE OF THE SLOPE. SHRUB/PERENNIAL AND MASS PLANTING BEDS SHALL BE WORKED OR EXCAVATED TO THE DEPTH OF THE ROOT BALL PROVIDING FOR THE ROOT BALL TO REST ON UNDISTURBED SOIL. EXCAVATED SOILS NOT PREVIOUSLY COMPACTED OR OTHERWISE DEGRADED SHALL BE RE- USED FOR PLANTING PIT BACKFILL. EXCAVATED SOILS UNSUITED FOR BACKFILL SHALL BE AMENDED WITH FRIABLE TOPSOIL TO CREATE A SUITABLE PLANTING SOIL AS APPROVED BY THE LANDSCAPE ARCHITECT. EXCAVATED SOILS THAT CANNOT BE RESTORED TO A REASONABLE PLANTING SOIL SHALL BE REMOVED AND REPLACED WITH A FRIABLE, TOPSOIL/SUB SOIL PLANTING MIX TYPICAL OF THE REGION. NOTE- FOR BIDDING PURPOSES OR UNLESS OTHERWISE SPECIFIED HEREON, THE CONTRACTOR SHALL ASSUME EXCAVATED SOILS ARE SUITABLE FOR PLANTING BACKFILL.

PLANTING BEDS FOR AZALEAS, RHODODENDRONS, YEWS AND OTHER MOISTURE SENSITIVE PLANT MATERIAL SHALL BE MOUNDED AND AMENDED WITH SAND, PEAT OR COMPOST AS NECESSARY TO SUITABLE PLANTING SOIL AND

UNLESS SPECIFICALLY INTENDED AS PART OF STORM WATER MANAGEMENT DESIGN, ALL PLANTING BEDS ADJACENT TO PAVED AREAS SHALL BE MOUNDED SO THAT PAVING RUNOFF DOES NOT DIRECTLY DUMP OR SHEET FLOW INTO PLANTING AREAS. PROVIDE BREAKS IN THE MULCH WHERE CONTINUOUS PLANTING BEDS MAY IMPEDE DRAINAGE PATTERNS.

TURF AREAS SHALL RECEIVE 4" MINIMUM TOPSOIL STOCKPILED FROM SITE, OR IF UNAVAILABLE, SUPPLIED FROM LOCAL SOURCES WITH SIMILAR CHARACTERISTICS TO THE NATIVE TOPSOIL OF THE SITE. ALL LAWN AREAS SHALL BE WORKED TO A DEPTH OF 4".

CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION (IF APPLICABLE TO THIS PROJECT) TO INSURE THAT PRELIMINARY IRRIGATION WORK IS COMPLETED OR COORDINATED WITH PLANTING EFFORTS.

PLANT INSTALLATION: REMOVE BURLAP AND OTHER ROOT BALL COVERING TO THE EXTENT POSSIBLE- AT A MINIMUM THE UPPER 1/2 OF ROOT BALL WRAP SHALL BE REMOVED. CUT AND REMOVE AT LEAST THE TOP 1/3 OF WIRE BASKETS AND ALL ROOT BALL BINDINGS, STRING TIES, STRAPPING, LABELS, ETC. FROM THE PLANT MATERIAL, CUT OR SCARIFY THE SIDES OF CONTAINER GROWN STOCK TO ELIMINATE BOUND ROOTS AND PROMOTE HEALTHY ROOT GROWTH.

PLANTS SHALL BE INSTALLED VERTICALLY AND PLUMB. PLANT PITS SHALL BE BACKFILLED AND COMPACTED. ALL PLANTS SHALL BE WATERED DURING PLANTING TO MINIMIZE AIR POCKETS AND TO INSURE SOIL CONTACT WITH ROOTS. LET PLANT PITS SETTLE, AND ADD SOIL TO FILL VOIDS PRIOR TO MULCHING. WHERE PLANTINGS ARE NOT IRRIGATED, UTILIZE EXCAVATED SOIL TO FORM A WATERING COLLAR AROUND THE TREE OR SHRUB AT THE PERIMETER OF THE ROOT BALL, FEATHER SOIL GRADES AROUND PLANTINGS TO BLEND WITH SURROUNDING LANDSCAPE OR TURF AREAS. EXCESS EXCAVATED SOIL SHALL BE REMOVED FROM JOB SITE.

DECIDUOUS TREES OVER 2" CALIPER AND EVERGREEN TREES OVER 7' HEIGHT (UNLESS OTHERWISE WAIVED BY THE LANDSCAPE ARCHITECT), SHALL BE STAKED AND GUYED WITH MINIMUM 2- 2" X 2" X 6' HARDWOOD STAKES PLACED IN STABLE SOILS. GUY TREES TO STAKES WITH PROTECTIVE MATERIALS TYPICALLY UTILIZED IN THE INDUSTRY.

ALL PLANTING BEDS AND PITS NOT OTHERWISE CONTAINED WITH HARD EDGING SHALL BE EDGED WITH A 3" DEEP "V" TRENCH. ALL PLANTS AND BEDS, UNLESS OTHERWISE NOTED HEREON SHALL BE MULCHED TO A 2" DEPTH WITH DOUBLE SHREDDED, HARDWOOD BARK MULCH. MULCH SHALL GENERALLY EXTEND TO THE EDGE OF PAVING OR BUILDINGS, OR BACK OF CURB. IN OPEN AREAS ADJACENT TO TURF OR NATURALIZED AREAS, MULCH SHALL EXTEND A MINIMUM OF 2.5' BEYOND THE TRUNK FOR TREES AND 1.0' BEYOND THE EDGE OF SHRUB FOLIAGE. UNLESS OTHERWISE SPECIFICALLY DIRECTED HEREON, SHAPE THE MULCH-BED EDGE CONDUCIVE TO EASE OF MOWING OR MAINTENANCE OF THE ADJOINING AREA. DO NOT PLACE OR MOUND MULCH AGAINST THE TRUNK OR FOLIAGE OF PLANTS.

THE CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE AND REMOVE ALL PLANTING AND SUPPLY DEBRIS DAILY DURING THE COURSE OF IMPLEMENTATION.

TREE-WATERING DEVICES: TREE GATOR BAGS REQUIRED ON ALL TREES UNLESS IRRIGATION OTHERWISE

MAINTENANCE

DURING CONSTRUCTION PERIOD: THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL THROUGH JOB COMPLETION AND FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE WATERED, WEEDED, MULCHED, PRUNED AND TREATED FOR INSECT DAMAGE, FUNGUS OR DISEASE TO INSURE HEALTHY GROWING CONDITIONS. WATERING SHALL PROVIDE ADEQUATE MOISTURE TO SUPPORT VIGOROUS GROWTH. TYPICALLY, ALL TREES SHOULD RECEIVE 1", OR APPROXIMATELY 5 — 10 GALLONS OF WATER PER WEEK. PLANTS IN HEAVIER SOILS SHALL BE MONITORED TO AVOID OVER-WATERING, GATOR BAGS, WATERING TRAYS, IRRIGATION, HAND WATERING, OR OTHER INDUSTRY STANDARD TECHNIQUES SHALL BE EMPLOYED TO MAINTAIN ADEQUATE MOISTURE SUPPLY TO THE PLANT MATERIAL. INSTRUCT OWNER REGARDING REQUIRED AND PROPER ON-GOING MAINTENANCE OF LANDSCAPE INSTALLATION.

DURING WARRANTY PERIOD: THE CONTRACTOR SHALL VISIT THE SITE PERIODICALLY TO ADVISE OWNER OF ANY DEFICIENT CONDITIONS AFFECTING PLANT SURVIVABILITY. ADJUST STAKING AND GUYING PERIODICALLY AND REMOVE AFTER FIRST FULL GROWING SEASON, OR SOONER IF PLANT IS STABLE. REPLACE DEAD OR DYING PLANT MATERIAL.

LANDSCAPE WARRANTIES

THE OWNER/DEVELOPER SHALL WARRANT ALL LANDSCAPE INSTALLATIONS TWO (2) YEARS FROM DATE OF NOTICE OF SUBSTANTIAL COMPLETION. UNLESS OTHERWISE SPECIFIED IN AN AGREEMENT WITH THE OWNER, THE CONTRACTOR SHALL WARRANTY ALL INSTALLATION FOR ONE (1) YEAR FROM THE DATE OF NOTICE OF SUBSTANTIAL COMPLETION. DURING THE WARRANTY PERIOD, DEFICIENT PLANT MATERIALS SHALL BE REPLACED AS SOON AS POSSIBLE AND WARRANTED THROUGH THE REMAINDER OF THE WARRANTY PERIOD. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR WARRANTING THE WORK AGAINST LACK OF OWNER MAINTENANCE AFTER CONTRACTORS MAINTENANCE RESPONSIBILITIES END, OR FROM VANDALISM, EXTREME HURRICANE/FLOODING EVENTS OR OTHER EXTREME EVENTS BEYOND THE NORMAL, PRACTICAL AND REASONABLE CONTROL OF THE CONTRACTOR. THE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR A ONE (1) TIME REPLACEMENT OF DEAD OR DEFICIENT PLANT MATERIAL.

REVISIONS

DESCRIPTION

No. DATE

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN (THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

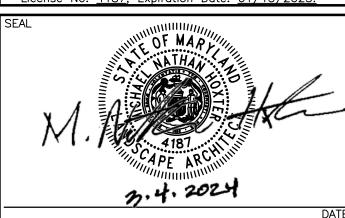


Lane Engineering, LLC

Established 1986 Civil Engineers • Land Planning • Land Surveyors



PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me. and that I am a duly licensed professional Landsca Architect under the laws of the State of Maryland, License No. 4187, Expiration Date: 01/13/2023.



LANDSCAPE NOTES

ON THE LANDS OF THE ST. MICHAELS COMMUNITY CENTER, INC. IN THE TOWN OF ST. MICHAELS. MARYLAND TALBOT COUNTY, MARYLAND TAX MAP 200, PARCEL 1552

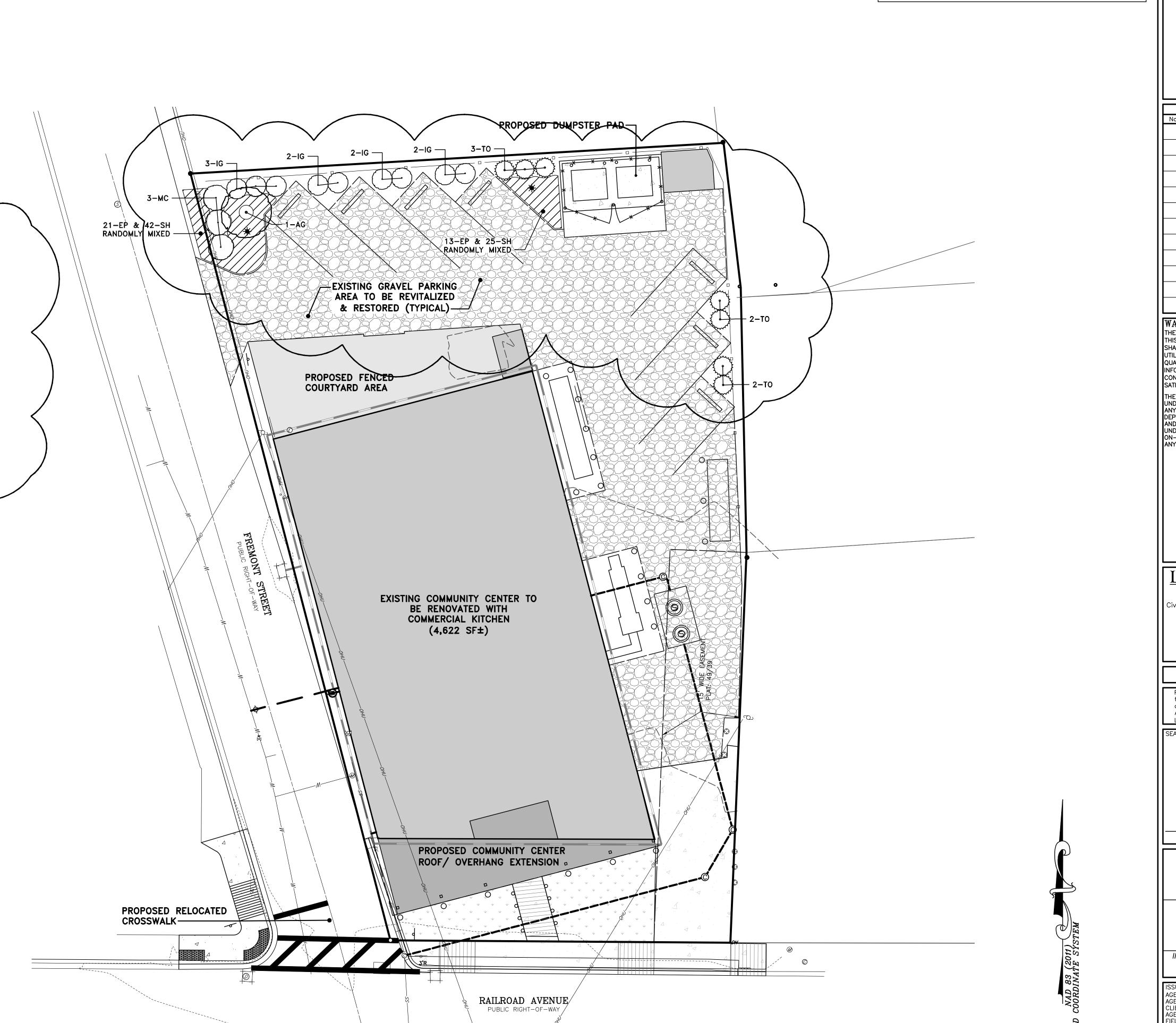
ı	AGENCY REVIEW
	AGENCY REVIEW
	CLIENT REVIEW
	AGENCY REVIEW FIELD CHANGE EXHIBIT
	FIELD CHANGE EXHIBIT
	AGENCY REVIEW
	AGENCY REVIEW FIELD CHANGE EXHIBIT
ı	AGENCY REVIEW

3/4/24 BC 12/10/20

12/10/20 BCE

4/14/23 BCE

200436 AS NOTED 2569 FILE No.



PLANT LIST-THIS SHEET ONLY

GRANDIFLORA 'AUTUMN

IG 9 ILEX GLABRA 'COMPACTA' COMPACT

MC 3 MORELLA PENSYLVANICA BAYBERRY

'POWWOW WILD BERRY'

SH 67 SPOROBOLUS HETEROLEPIS PRAIRIE

COMMON NAME SPECIFICATION

EMERALD GREEN 6' HGT. MIN,

POWWOW PURPLE QUART, 18" O/C

2" CAL. MIN,

18" HGT, MIN, 4' O/C

18" HGT, MIN, 5' O/C

ARBORVITAE

BRILLIANCE

SERVICEBERRY

CONEFLOWER

INKBERRY HOLLY

AUTUMN

SYM QUAN SCIENTIFIC NAME

TO 7 THUJA OCCIDENTALIS

'SMARAGD' FLOWERING / UNDERSTORY TREES AG 1 AMELANCHIER X

BRILLIANCE'

'SILVER SPRITE'

EP 34 ECHINACEA PURPUREA

HERBACEOUS PERENNIALS

EVERGREEN TREES

REVISIONS No. DATE DESCRIPTION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE BELOW AND

ARE CONSIDERED FINAL APPROVED SIMPLIFIED SITE PLANS.

ST. MICHAELS ZONING OFFICER

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON—SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.

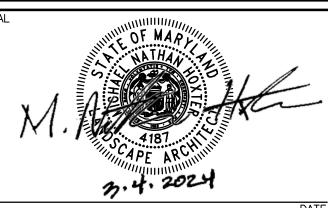


Lane Engineering, LLC

Established 1986 Civil Engineers • Land Planning • Land Surveyors



these documents were prepared or approved by me, and that I am a duly licensed professional Landscap Architect under the laws of the State of Maryland, License No. <u>4187</u>, Expiration Date: <u>01/13/2023</u>.



LANDSCAPE PLANTING PLAN

ON THE LANDS OF THE ST. MICHAELS COMMUNITY CENTER, INC. IN THE TOWN OF ST. MICHAELS, MARYLAND TALBOT COUNTY, MARYLAND TAX MAP 200, PARCEL 1552

100000
AGENCY REVIEW
AGENCY REVIEW
CLIENT REVIEW
AGENCY REVIEW
FIELD CHANGE EXHIBIT
AGENCY REVIEW
FIELD CHANGE EXHIBIT
AGENCY REVIEW

SCALE IN FEET

12/10/20 5 OF 5 200436 2569

AS NOTED FILE No.