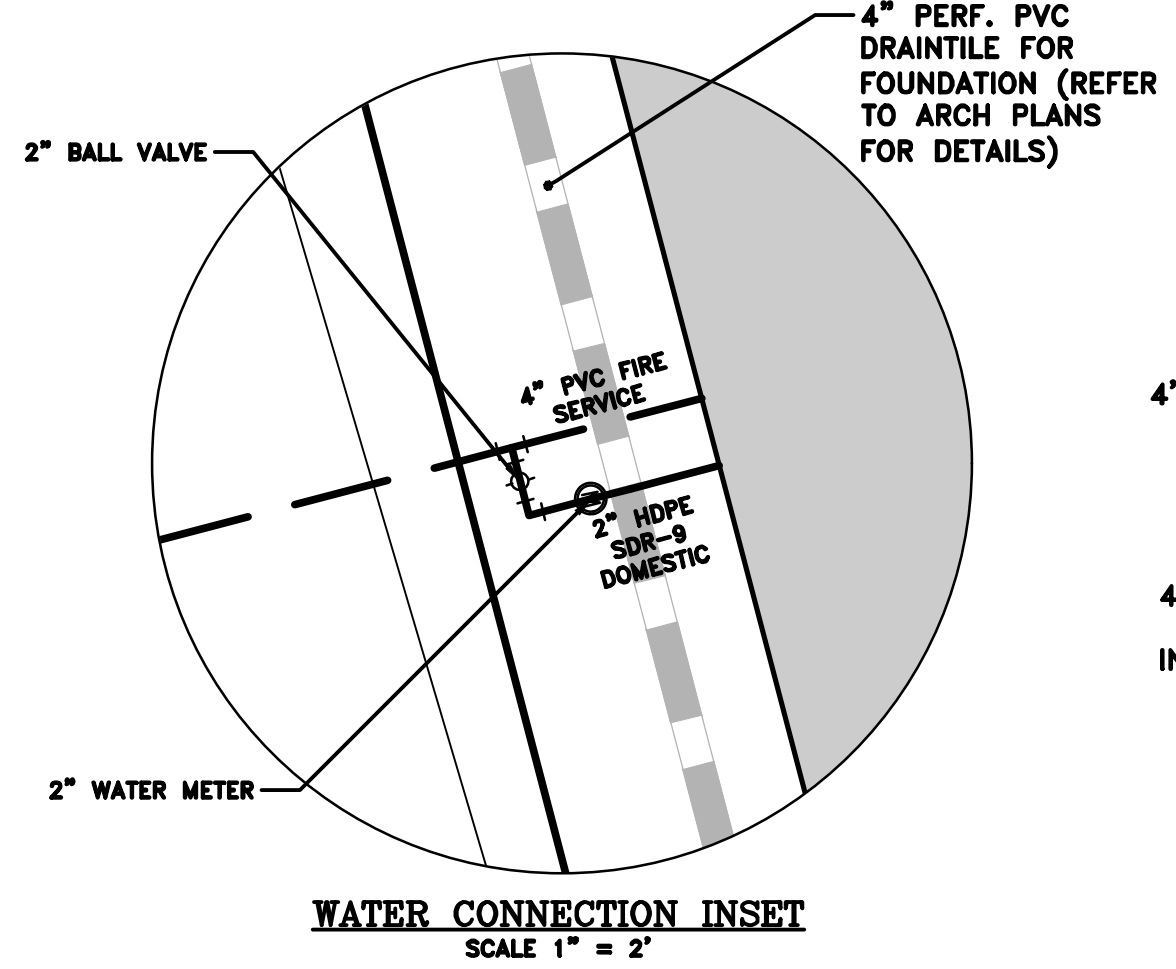


THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE BELOW AND ARE CONSIDERED TO BE AN AMENDMENT TO THE FINAL APPROVED SIMPLIFIED SITE PLANS.

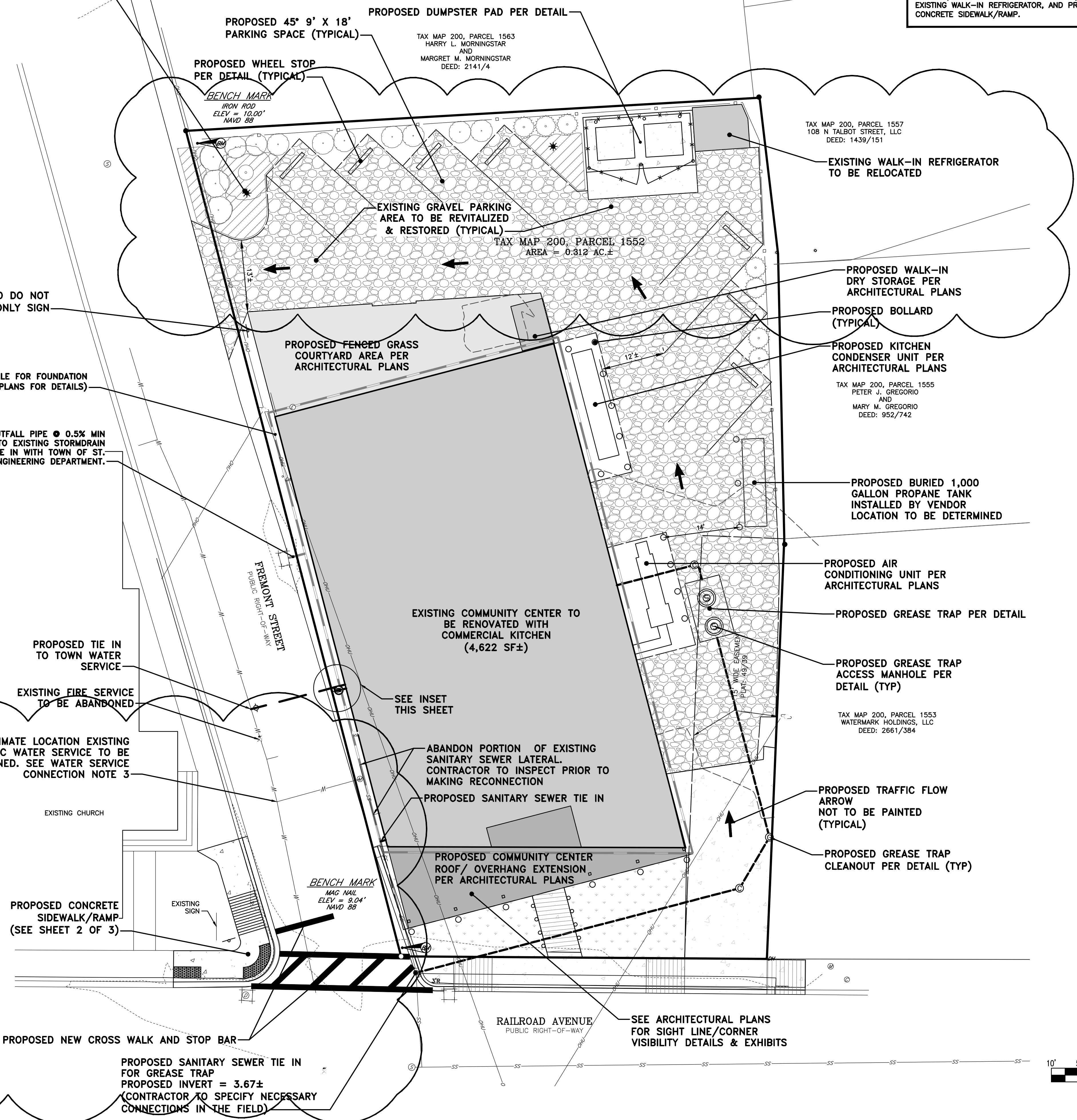
ST. MICHAELS ZONING OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

THE PURPOSE OF THESE PLANS IS TO PROVIDE REVISED CONSTRUCTION INFORMATION REGARDING ADDITION OF SITE LIGHTING, RELOCATION OF DUMPSTER PAD, RELOCATION OF EXISTING WALK-IN REFRIGERATOR, AND PROPOSED CONCRETE SIDEWALK/RAMP.

- SITE NOTES**
- BUILDING OUTLINES SHOWN BASED ON ARCHITECTURAL FLOOR PLAN PROVIDED BY OWNER. CONTRACTOR SHALL VERIFY WITH OWNER/ARCHITECT/ENGINEER EXACT DIMENSIONS OF FOUNDATION. STAKE OUT SHALL BE PER FOUNDATION PLAN PROVIDED BY OWNER AND NOT BASED ON DIMENSIONS SHOWN OR SCALED HERE ON.
  - COORDINATE WITH ARCHITECTURAL PLANS FOR EXACT LOCATION OF WATER AND SEWER AND OTHER UTILITY CONNECTIONS.
  - COORDINATE LOCATION OF SIAMESE FIRE DEPARTMENT CONNECTION WITH ARCHITECTURAL PLANS.
  - COORDINATE LOCATION OF LEADWALK WITH DOOR LOCATIONS PER ARCHITECTURAL PLANS.
  - ALL DIMENSIONS AND RADII REFER TO FLOWLINE OF CURB OR EDGE OF PAVEMENT.
  - ALL CURB TERMINATIONS SHALL HAVE 2" NOSEDOWNS, UNLESS OTHERWISE SPECIFIED OR SHOWN HEREON.
  - COORDINATE WITH UTILITY SERVICE PROVIDERS FOR THE RELOCATION OF EXISTING UTILITIES, IF REQUIRED, AND FOR THE INSTALLATION OF PROPOSED UTILITIES.
  - A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.
  - ADJUST ALL EXISTING VALVE BOXES, CLEANOUTS, AND STRUCTURE RIMS TO PROPOSED GRADE AS REQUIRED.
  - REFER TO SHEET 6 FOR WATER AND SEWER DETAILS.
  - REFER TO SHEET 7 FOR PAVEMENT SECTION AND SITE DETAILS.
  - REFER TO SHEETS 8 AND 9 FOR LANDSCAPE PLAN.



- WATER SERVICE CONNECTION NOTES**
- CONTRACTOR TO CONTACT THE TOWN OF ST. MICHAELS TO DETERMINE IF EXISTING WATERMAIN CAN BE TEMPORARILY ISOLATED WITH EXISTING VALVES. IF EXISTING VALVES ARE FOUND NON-FUNCTIONAL OR IF IT IS NOT POSSIBLE ISOLATE EXISTING MAIN, CONTRACTOR SHALL PROVIDE FULL DIAMETER WET TAP ON EXISTING MAIN USING STAINLESS STEEL TAPPING SLEEVE, AWWA C509 GATE VALVE AND BUTTRESS. COORDINATE AND CONFIRM FIRE MAIN SIZE WITH ARCHITECTURAL PLANS.
  - ALL WATER CONNECTIONS AND DISCONNECTIONS SHALL BE DIRECTLY COORDINATED WITH THE TOWN OF ST. MICHAELS DEPARTMENT OF PUBLIC WORKS.
  - EXISTING WATER SERVICE TO BE ABANDONED BY CLOSING CORPORATION STOP AT WATER MAIN. CUT AND CAP EXISTING WATER SERVICE AT CORPORATION STOP.
  - PAVEMENT REPAIR PER DETAIL.



REVISIONS			
No.	DATE	DESCRIPTION	BY

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PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/5/2025.

SEAL

DATE: 3.5.24

**SITE & UTILITY PLAN**

ON THE LANDS OF  
**THE ST. MICHAELS COMMUNITY CENTER, INC.**  
IN THE TOWN OF ST. MICHAELS, MARYLAND  
TALBOT COUNTY, MARYLAND  
TAX MAP 200, PARCEL 1552

ISSUED FOR:	DATE:	BY:
AGENCY REVIEW	12/10/20	BCE
AGENCY REVIEW	5/20/21	BCE
CLIENT REVIEW	1/5/22	BCE
AGENCY REVIEW	6/9/22	BCE
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AGENCY REVIEW	12/14/23	BCE
FIELD CHANGE EXHIBIT	2/27/24	BCE
AGENCY REVIEW	3/4/24	BCE

SHEET No.	DATE:	12/10/20
1 OF 5	JOB No.	200436
SCALE:	FILE No.	2569
AS NOTED		

Date: 03/04/2024 - 11:19am User: rchocker Project Manager: BCE  
 Drawing Path: J:\2020\0400\200436\Civil\3D-200436 (Dwg)\Pilot\TitleChange\Exhibit-200436.p1.dwg | Proposed Improvements  
 XREF File(s): RAR-BASE-200436/MLD-BASE-200436/SF-BASE-200436/RES-BASE-200436/CSP-BASE-200436/CEC-BASE-200436/LIP-BASE-200436/RD-BASE-200436

**SITE NOTES**

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- COORDINATE WITH ARCHITECTURAL PLANS FOR EXACT LOCATION OF WATER AND SEWER AND OTHER UTILITY CONNECTIONS.
- COORDINATE LOCATION OF LEADWALK WITH DOOR LOCATIONS PER ARCHITECTURAL PLANS.
- ALL DIMENSIONS AND RADII REFER TO FLOWLINE OF CURB OR EDGE OF PAVEMENT.
- ALL CURB TERMINATIONS SHALL HAVE 2' NOSEDOWNS, UNLESS OTHERWISE SPECIFIED OR SHOWN HEREON.
- COORDINATE WITH UTILITY SERVICE PROVIDERS FOR THE RELOCATION OF EXISTING UTILITIES, IF REQUIRED, AND FOR THE INSTALLATION OF PROPOSED UTILITIES.
- A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.

**GRADING NOTES**

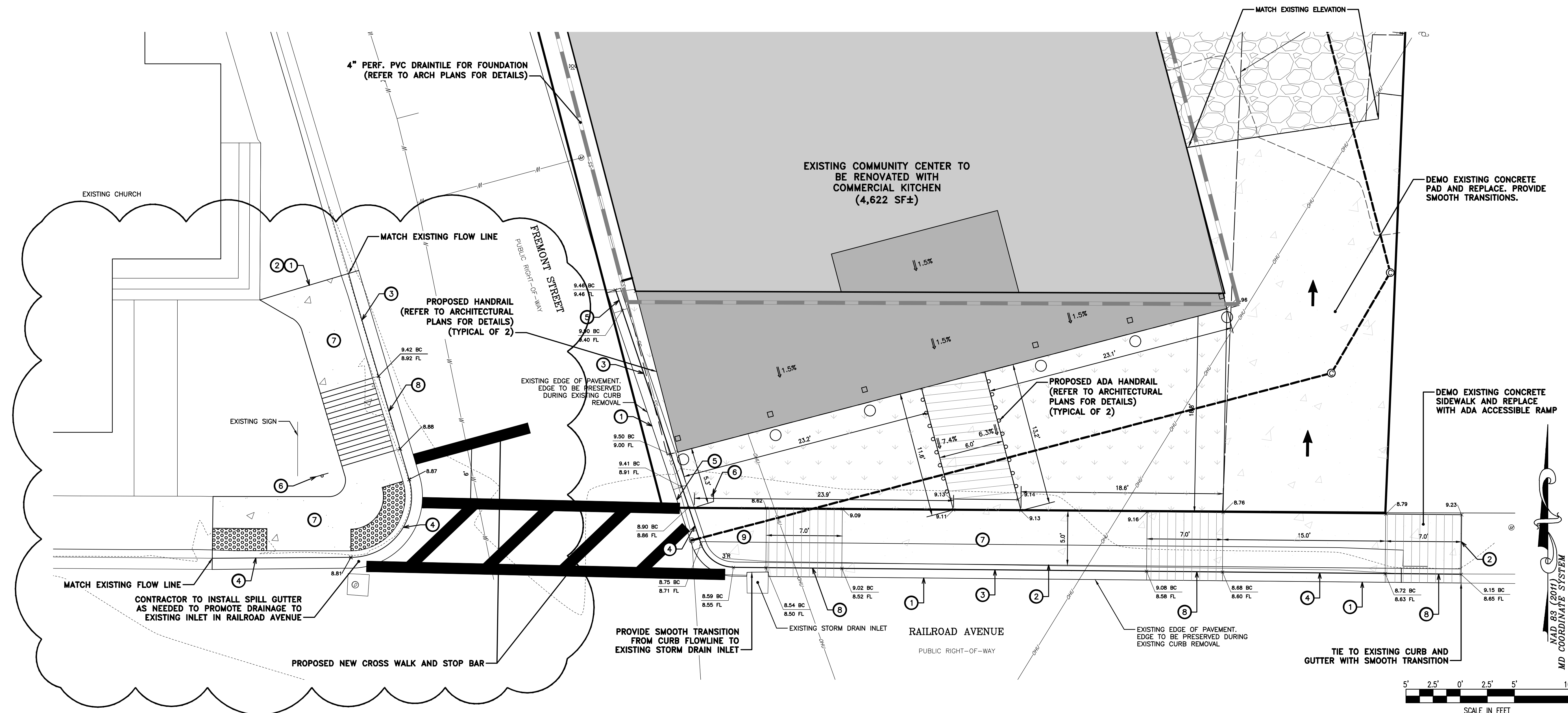
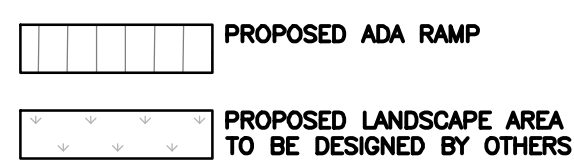
- USE EROSION CONTROL MATTING FOR ALL SIDE SLOPES 3:1 OR STEEPER.
- STOCKPILE STRIPPED TOPSOIL AT AN OFFSITE LOCATION WITH AN APPROVED SEDIMENT CONTROL PLAN AS REQUIRED.
- SPOT ELEVATIONS REFER TO EDGE OF PAVEMENT, FLOWLINE OF CURB OR GROUND SURFACE.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
- PROVIDE A SMOOTH GRADING TRANSITION BETWEEN ALL DISTURBED AND EXISTING AREAS.
- SIDEWALKS SHALL HAVE MAX CROSS SLOPE OF 2.0% AND MAX LONGITUDINAL SLOPE OF 5.0%.
- LANDING PAD AT DOOR ENTRANCES SHALL HAVE 2.0% MAX SLOPE. SIZE OF LANDING PAD PER PLAN AND CODE REQUIREMENTS.
- CONTRACTOR SHALL CLEAN ACCUMULATED SEDIMENT FROM ALL DITCHES AND PIPING UPON COMPLETION OF PROJECT.
- IMPORTED STRUCTURAL FILL SHALL BE TESTED PER ASTM D-1557 FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT. ALL STRUCTURAL SOILS SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- PROPOSED PARKING LOT BASE SHALL BE PROOF ROLLED AND APPROVED BY ENGINEER PRIOR TO ASPHALT PLACEMENT.
- CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR RELOCATION OF UNDERGROUND ELECTRIC/CATV/PHONE AND OTHER UTILITIES AS REQUIRED.

ANY AND ALL CONSTRUCTION OF ADA PARKING & ACCESS FACILITIES SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS, DETAILS AND STANDARDS AND WITH THE CODE OF FEDERAL REGULATIONS-28CFR PART 36-ADA STANDARDS FOR ACCESSIBLE DESIGN-LATEST EDITION. CONTRACTOR IS STRONGLY ENCOURAGED TO CONTACT THE LOCAL APPROVAL AUTHORITY, PRIOR TO CONSTRUCTION, FOR ACCEPTABLE CONSTRUCTION TOLERANCES ASSOCIATED WITH ALL HANDICAP FACILITIES. 28CFR PART 36 DOES NOT PROVIDE SPECIFIC CONSTRUCTION TOLERANCES PERTAINING TO CONSTRUCTED FACILITY APPROVAL. LANE ENGINEERING, LLC ACCEPTS NO RESPONSIBILITY FOR FACILITIES AS CONSTRUCTED.

MINOR ANOMALIES IN INFRASTRUCTURE, BOTH EXISTING AND PROPOSED, TO WHICH RAMPS AND LANDINGS ARE TIED CAN RESULT IN NON-COMPLIANCE WITH ADA LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING FORMS AS NEEDED TO ENSURE COMPLIANCE WITH THE MINIMUM AND MAXIMUM SLOPES ILLUSTRATED IN THE JURISDICTION SPECIFIC RAMP DETAILS. THE JURISDICTION SPECIFIC SIDEWALK RAMP DETAILS ARE PROVIDED TO ILLUSTRATE MATERIAL SPECIFICATIONS AND MAX/MIN ALLOWABLE SLOPES. DO NOT RELY UPON THE DIMENSIONS PROVIDED-THEY MAY RESULT IN NON-COMPLIANCE WITH ADA LAWS.

**SITE & UTILITY KEY NOTES**

- TIE TO EXISTING PAVEMENT/SIDEWALK W/ SMOOTH TRANSITION (TYP)
- INSTALL FULL DEPTH EXPANSION MATERIAL WHERE CONCRETE ABUTS RIGID STRUCTURES AND/OR CURBING (TYP)
- 6" CONCRETE CURB AND GUTTER PER DETAIL (TYP). MATCH EXISTING CURB PROFILE ON RAILROAD AVE.
- DEPRESSED CURB AND GUTTER PER DETAIL
- 2' NOSEDOWN
- RELOCATED STOP SIGN (30"x30" R1-1)
- 5' CONCRETE OR BRICK SIDEWALK PER DETAIL (TYP). MATERIAL TO BE DETERMINED BY OWNER.
- TRANSITION FROM 6" CURB AND GUTTER TO DEPRESSED CURB AND GUTTER
- PARALLEL SIDEWALK ADA RAMP PER DETAIL. NOTE, CURB RAMP LANDING TIE-IN TO EXISTING EDGE OF PAVEMENT WILL NOT BE ADA COMPLIANT WITH CROSS SLOPES. CONTRACTOR TO PROVIDE MAXIMUM COMPLIANCE GIVEN THE CONNECTION TO EXISTING FIELD CONDITIONS.



THESE PLANS HAVE BEEN REVIEWED AND APPROVED AND ARE CONSIDERED TO BE AN AMENDMENT TO THE FINAL APPROVED SIMPLIFIED SITE PLANS.

ST. MICHAELS ZONING OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

THE PURPOSE OF THESE PLANS IS TO PROVIDE REVISED CONSTRUCTION INFORMATION REGARDING ADDITION OF SITE LIGHTING, RELOCATION OF DUMPSTER PAD, RELOCATION OF EXISTING WALK-IN REFRIGERATOR, AND PROPOSED CONCRETE SIDEWALK/RAMP.

REVISIONS			
No.	DATE	DESCRIPTION	BY

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SEAL  
  
DATE

**STREET FRONTAGE IMPROVEMENTS FIELD CHANGE EXHIBIT**

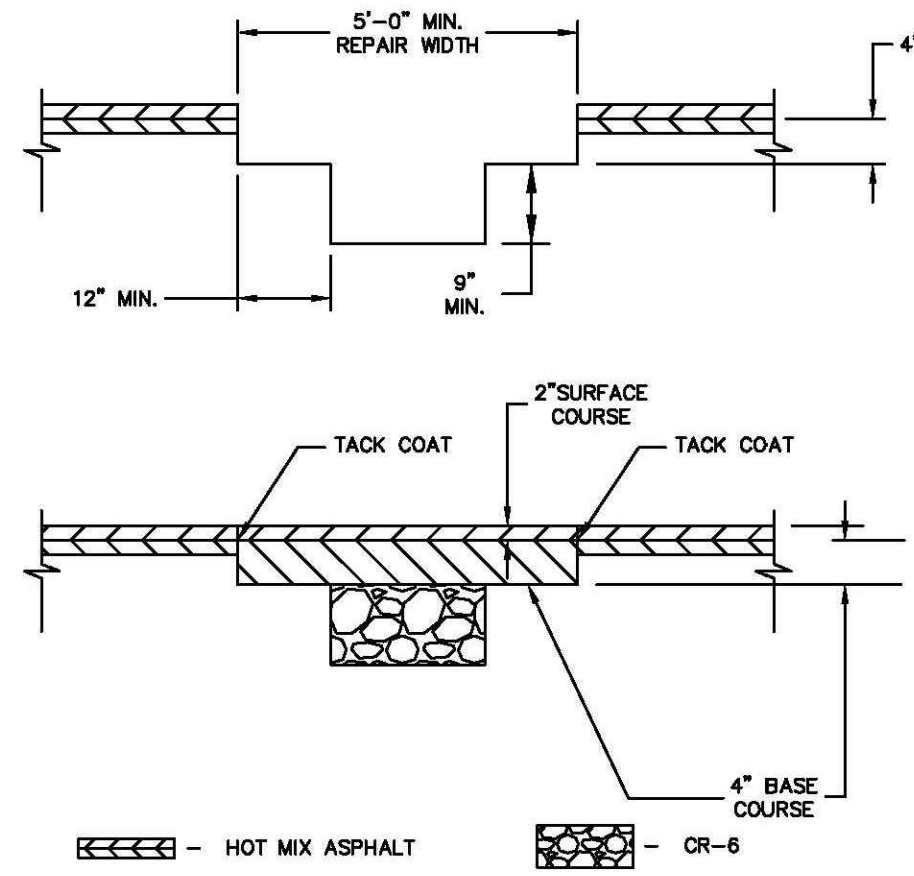
ON THE LANDS OF THE ST. MICHAELS COMMUNITY CENTER, INC.  
IN THE TOWN OF ST. MICHAELS, MARYLAND TALBOT COUNTY, MARYLAND TAX MAP 200, PARCEL 1552

ISSUED FOR:	DATE:	BY:
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SHEET No. 2 OF 5	DATE: 12/10/20
SCALE: AS NOTED	JOB No. 200436
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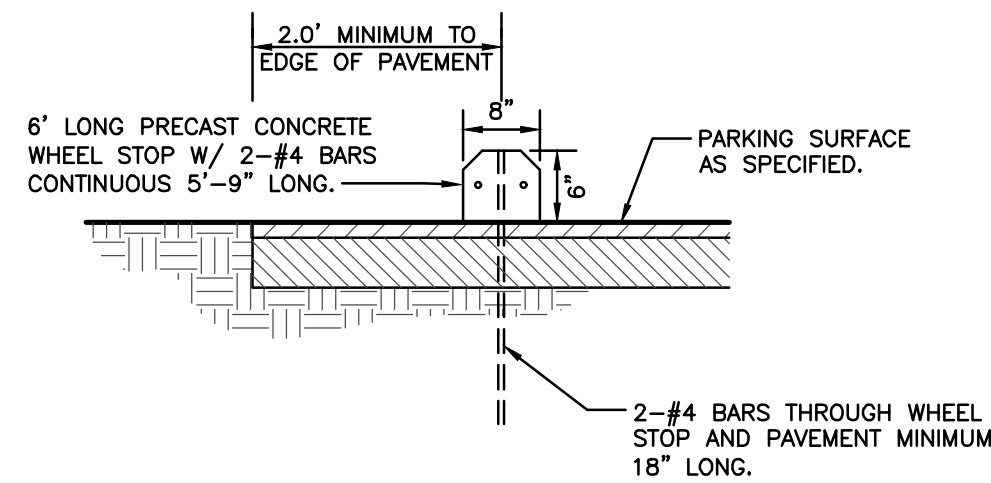
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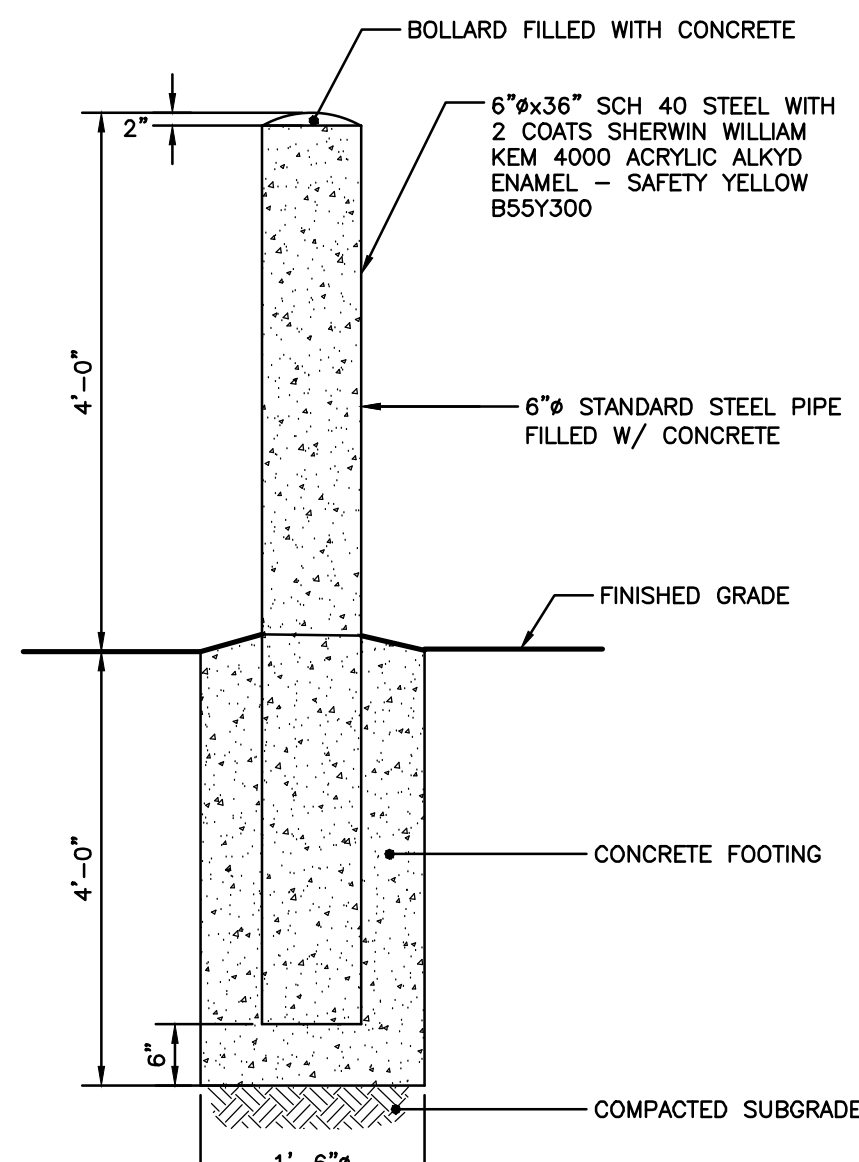
**NOTES:**

- PAVEMENT SHALL BE SAW CUT FULL DEPTH OF THE EXISTING PAVEMENT SECTION. ALL CUTS SHALL BE MADE IN STRAIGHT LINES.
- IF PATCH FALLS WITHIN 2' OF EXISTING CURB OR EDGE OF PAVING, CONTINUE RESTORATION TO EDGE OF PAVE.
- SURFACE COURSE: 2" OF 9.5mm SUPERPAVE. BASE COURSE: 4" OF 9.5mm, 12.5mm OR 19.0 mm SUPERPAVE IN 2-2" LIFTS. NOTE: IF SC & BC ARE BOTH 9.5mm, THEY MAY BE DONE IN 2-3" LIFTS.
- ADDITIONAL MILL AND OVERLAY MAY BE REQUIRED WHEN MULTIPLE PAVEMENT REPAIRS ARE LOCATED IN THE SAME RELATIVE VICINITY. LIMITS OF MILL AND OVERLAY, WHEN REQUIRED, WILL BE DETERMINED BY THE TOWN ENGINEER.
- WHEN SURFACE AREAS OF REPAIR EXCEEDS 100 SF, THE 2" SURFACE COURSE SHALL EXTEND ENTIRE WIDTH OF TRAVEL LANE(S) AND/OR SHOULDER. LIMITS OF MILL AND OVERLAY, WHEN REQUIRED, WILL BE DETERMINED BY THE TOWN ENGINEER.
- CONTRACTOR MUST CONFIRM LIMITS OF PAVEMENT REQUIRED WITH TOWN ENGINEER PRIOR TO START OF PAVEMENT WORK.

**PERMANENT PAVEMENT REPAIR DETAIL**  
NOT TO SCALE

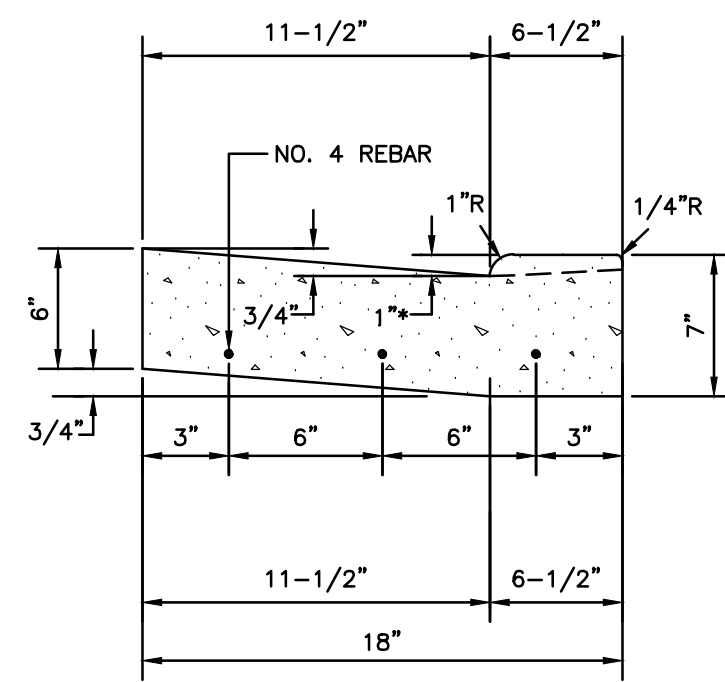


**CONCRETE WHEELSTOP DETAIL**  
NOT TO SCALE



**BOLLARD DETAIL**  
NTS

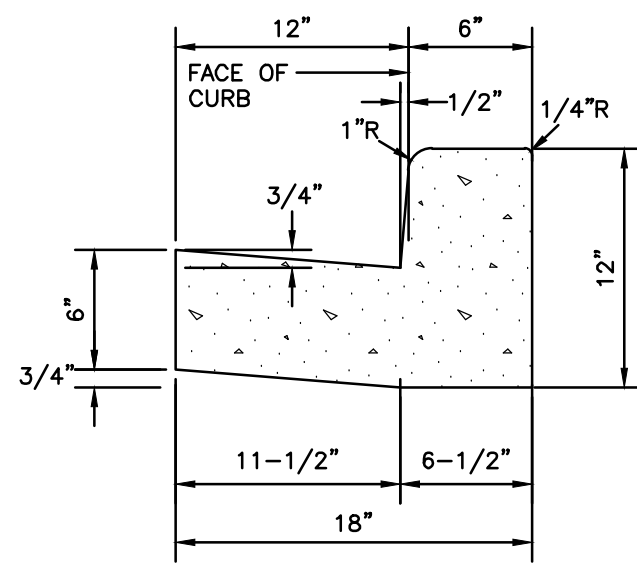
NOTE:  
CONCRETE SHALL BE MDOT SHA MIX NO 3



**NOTES:**

- ALL DEPRESSED CURB & GUTTER CONCRETE SHALL BE MDOT SHA MIX NO. 3.
  - CURB & GUTTER SHALL HAVE CONTROL JOINTS EVERY 10'-0", AND CONTRACTION/EXPANSION JOINTS EVERY 40'-0". EXTRUDED CONCRETE CURB & GUTTER SHALL HAVE CONTRACTION JOINTS EVERY 10'-0", AND EXPANSION JOINTS EVERY 100'-0".
  - AT HANDICAP RAMPS, CURB PAN MAXIMUM SLOPE SHALL BE 20:1 (5%).
  - ALL DRIVEWAYS REQUIRE 3 PIECES OF NO. 6 REBAR, FULL LENGTH OF DEPRESSED CURB.
- \*RISE AT HANDICAP RAMPS SHALL BE 1/2".

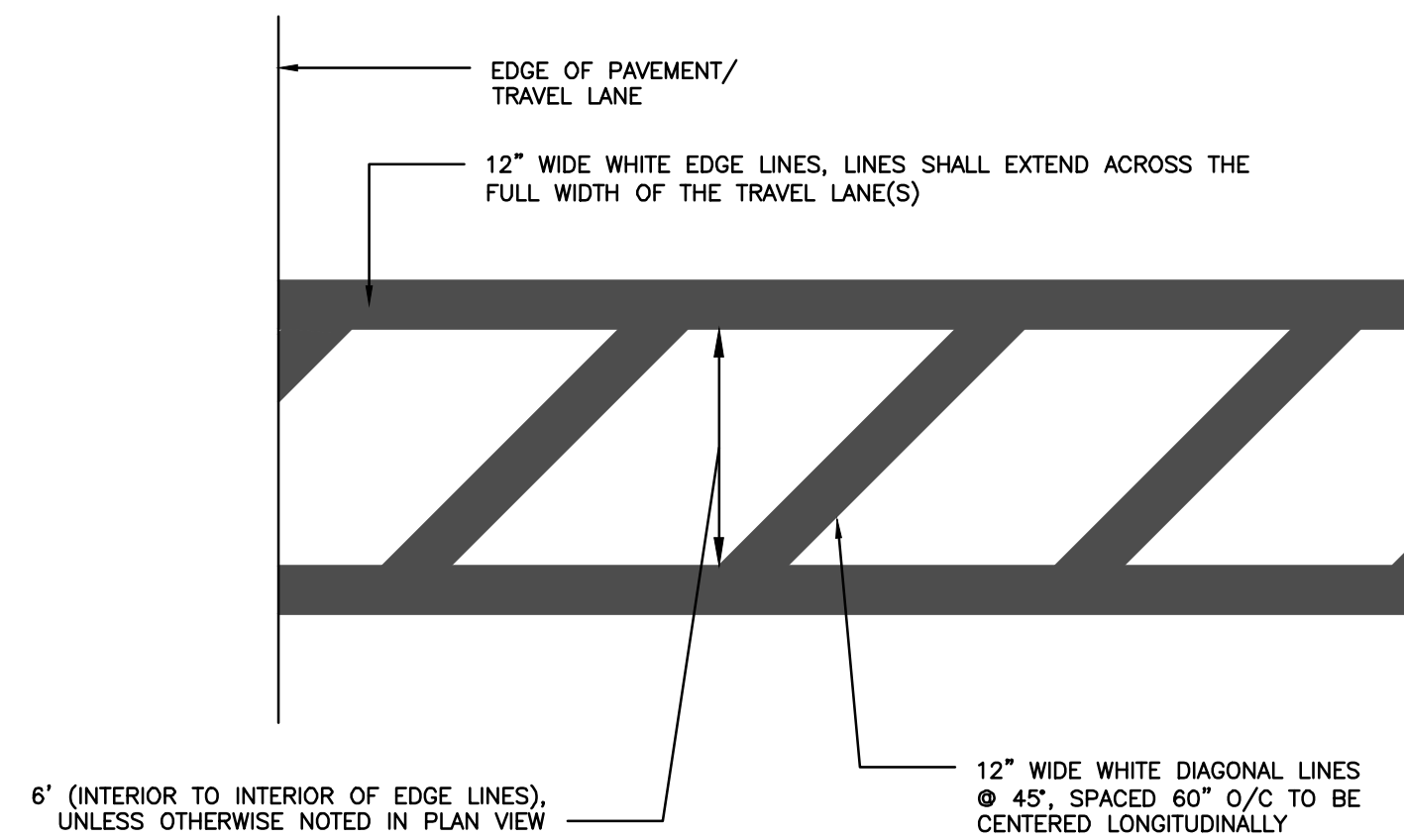
**DEPRESSED CONCRETE CURB AND GUTTER DETAIL**  
NOT TO SCALE



**NOTES:**

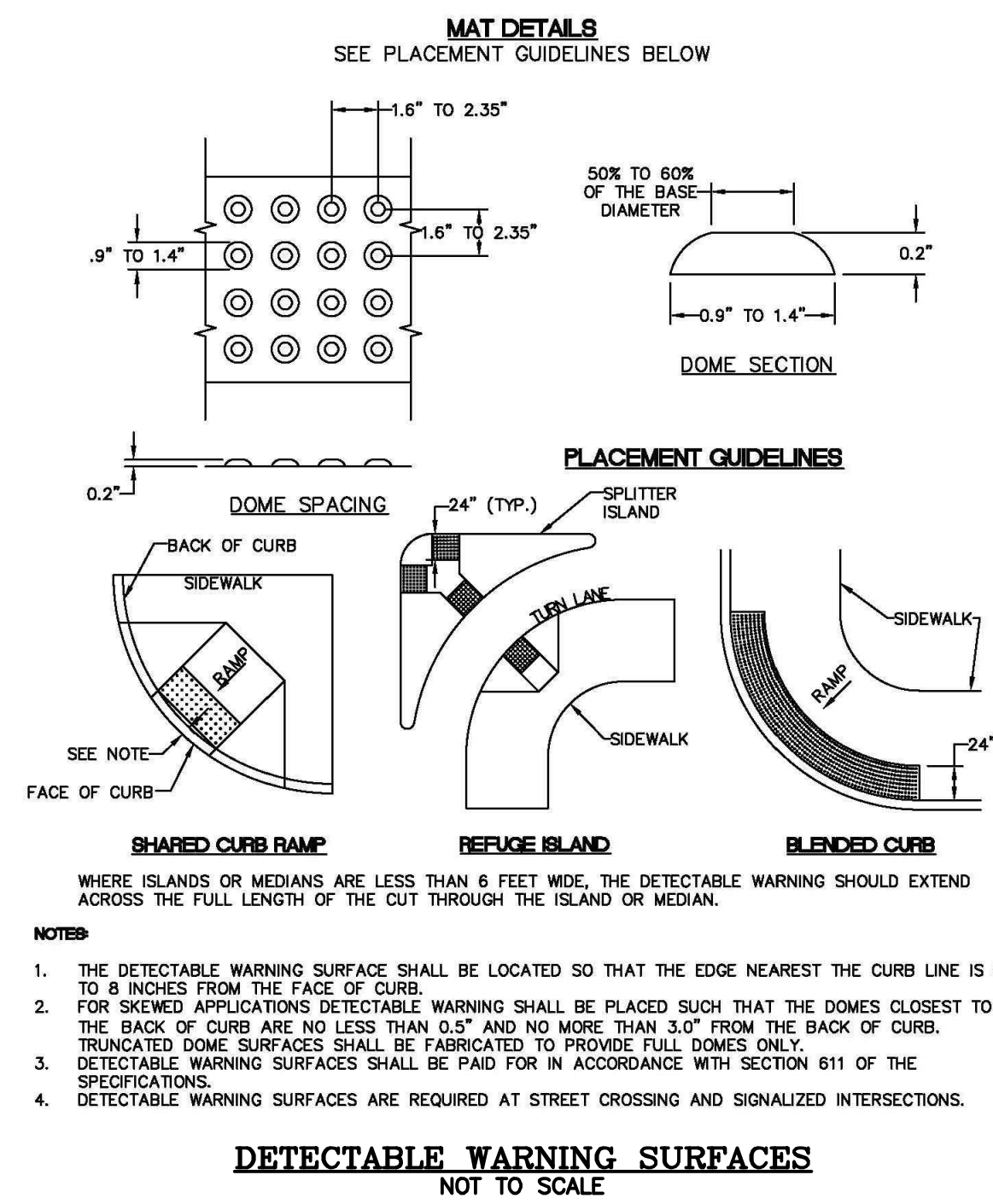
- ALL CURB & GUTTER CONCRETE SHALL BE MDOT SHA MIX NO. 3.
- CURB & GUTTER SHALL HAVE CONTROL JOINTS EVERY 10'-0", AND CONTRACTION/EXPANSION JOINTS EVERY 40'-0". EXTRUDED CONCRETE CURB & GUTTER SHALL HAVE CONTRACTION JOINTS EVERY 10'-0", AND EXPANSION JOINTS EVERY 100'-0".
- AT HANDICAP RAMPS, CURB PAN MAXIMUM SLOPE SHALL BE 20:1 (5%).

**CONCRETE CURB AND GUTTER DETAIL**  
NOT TO SCALE

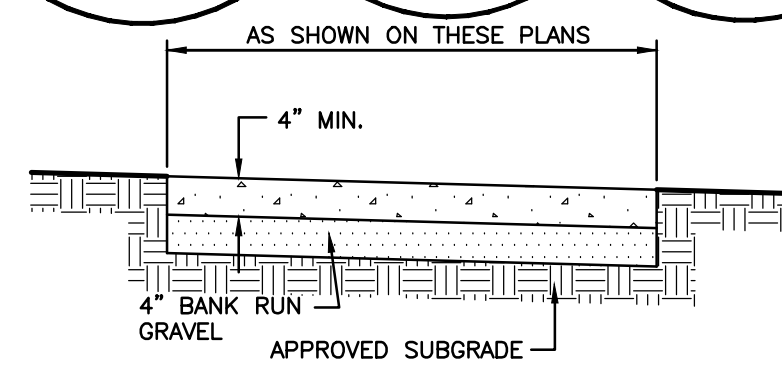


NOTE: REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED ENCLOSURE DESIGN.

**STANDARD CROSSWALK DETAIL**  
NOT TO SCALE



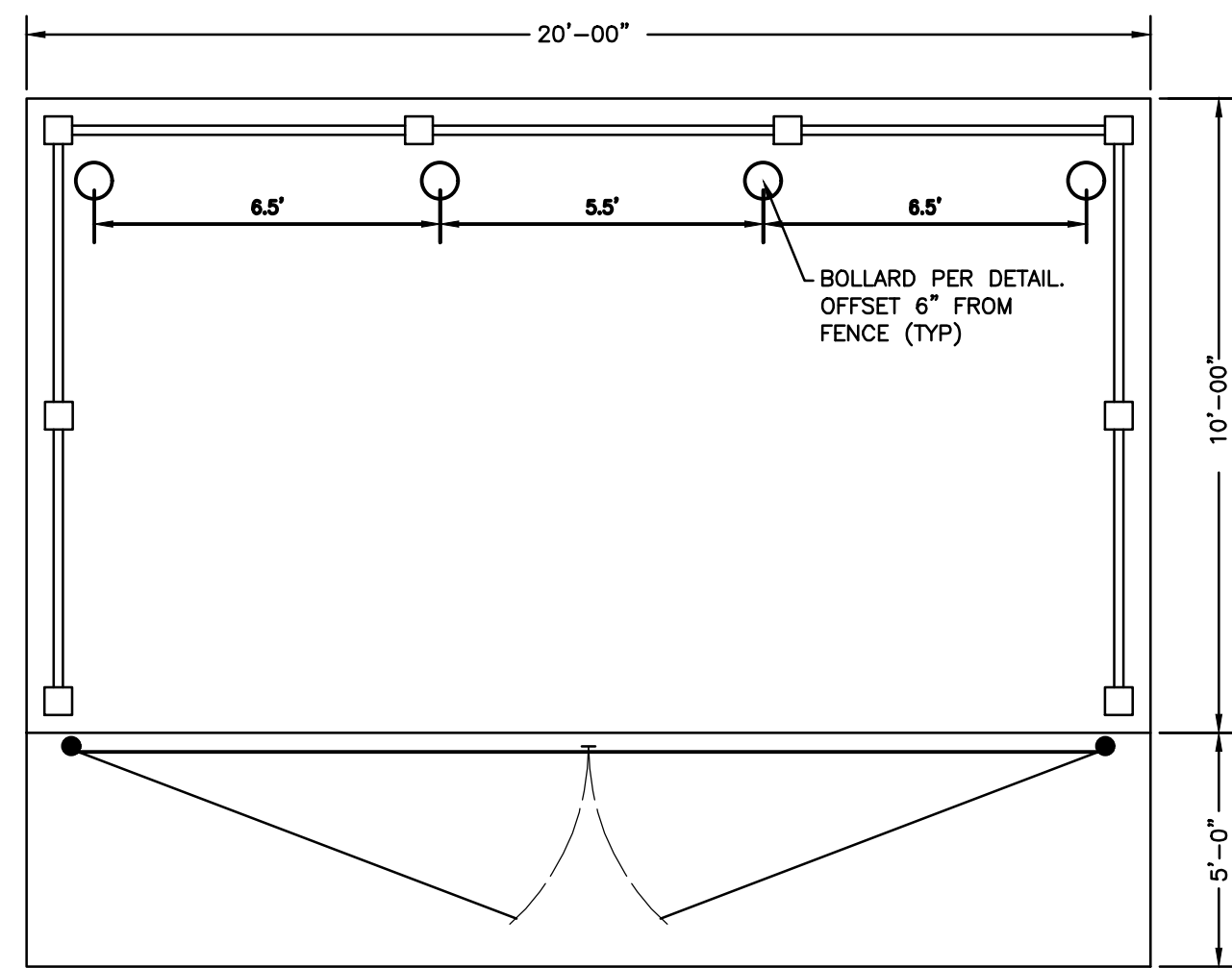
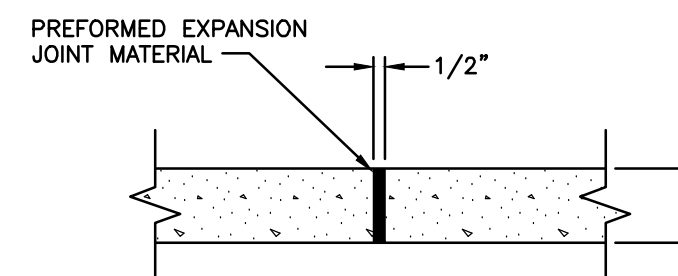
**DETECTABLE WARNING SURFACES**  
NOT TO SCALE



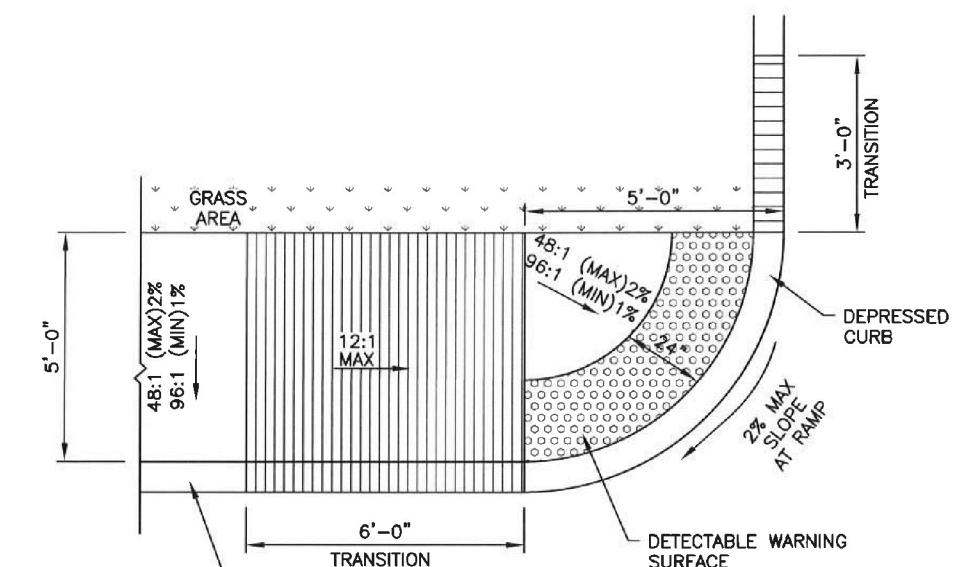
**NOTES:**

- SUBGRADE AND BANK RUN GRAVEL TO BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557).
- CONCRETE SHALL BE MDOT SHA MIX NO. 3.
- 1/8"x1" DEEP SAWCUT CONTROL JOINTS AT 5'-0" INTERVALS.
- CONTRACTION/EXPANSION JOINTS AT INTERVALS NO GREATER THAN 20'-0".
- 1/2" THICK PRE-FORMED EXPANSION JOINT MATERIAL AT EXPANSION JOINTS.
- PROVIDE ADEQUATE CROSS SLOPE OR LONGITUDINAL SLOPE AS APPLICABLE, 1/4" PER 1'-0" MIN.

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE

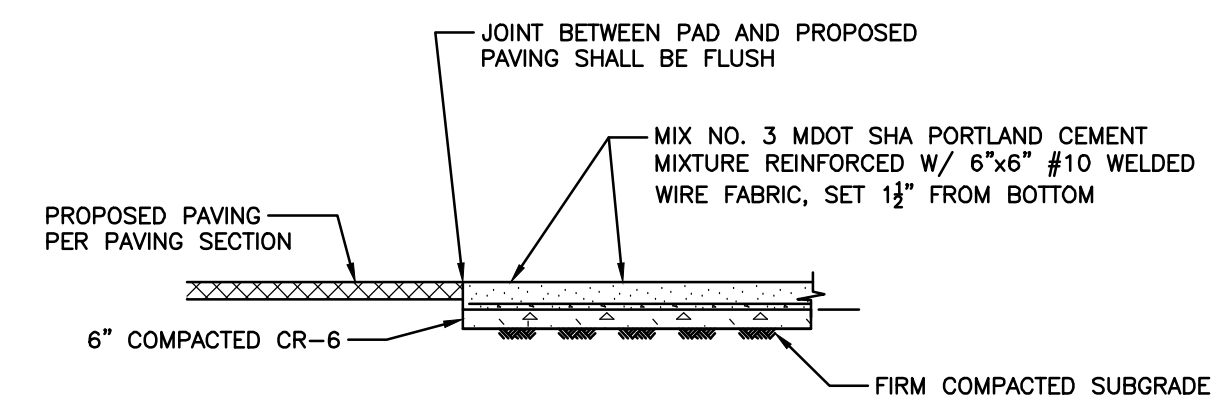


**DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE



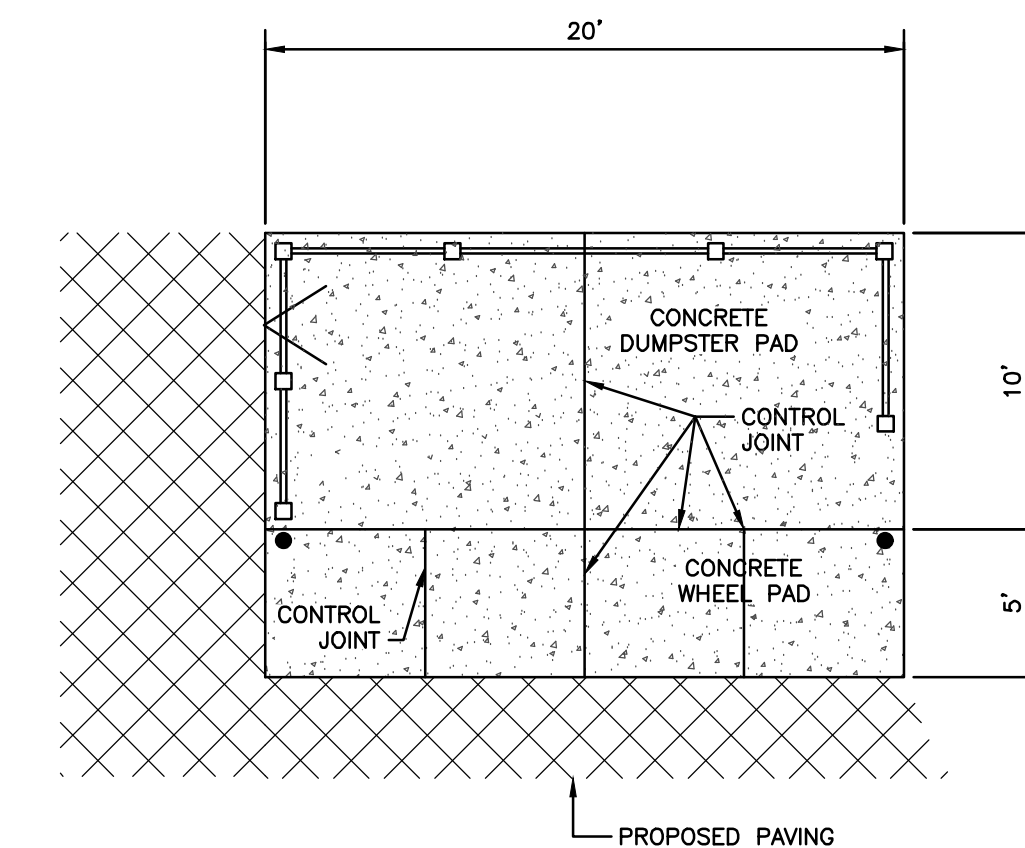
- SURFACE TEXTURE OF RAMPS SHALL BE COARSE BROOMING OR NON-SKID TYPE SURFACE.
- HANDICAPPED RAMPS SHALL BE REINFORCED WITH 6X6 W1.4XW1.4 WELDED WIRE MESH.
- HANDICAPPED RAMPS SHALL CONTAIN A 6" THICK CONCRETE SECTION.
- AT NO POINT SHALL THE SLOPE OF THE LANDING BE GREATER THAN 48:1 (2%), INCLUDING DIAGONAL.
- THERE SHALL BE A LANDING PRIOR TO THE RAMPS, THE LANDING SHALL BE 36" IN LENGTH, MINIMUM.

**SIDEWALK RAMP**  
NOT TO SCALE



SEE GRADING NOTE FOR COMPACTION REQUIREMENTS.

**CONCRETE DUMPSTER PAD SECTION A-A**  
NOT TO SCALE



**CONCRETE DUMPSTER PAD DETAIL**  
NOT TO SCALE

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SEAL  
STATE OF MARYLAND  
3.5.24  
DATE

**SITE DETAILS**  
ON THE LANDS OF THE ST. MICHAELS COMMUNITY CENTER, INC. IN THE TOWN OF ST. MICHAELS, MARYLAND TALBOT COUNTY, MARYLAND TAX MAP 200, PARCEL 1552

ISSUED FOR:	DATE:	BY:
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SHEET No.	DATE:
3 OF 5	12/10/20
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AS NOTED	200436
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ST. MICHAELS ZONING OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

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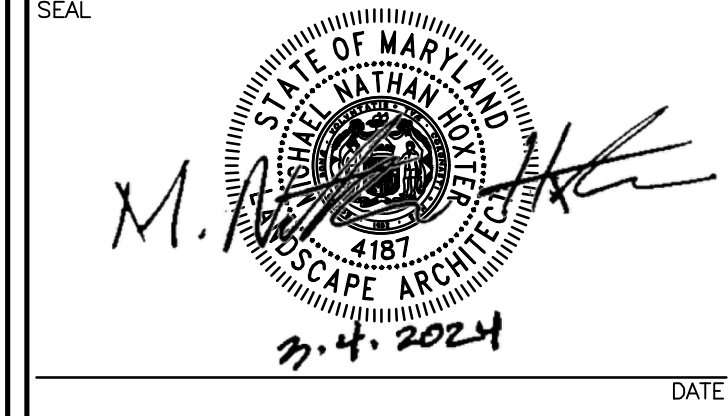
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 117 Bay St., Easton, MD 21601 (410) 822-8003  
 15 Washington St., Centreville, MD 21613 (410) 221-0818  
 354 Pennsylvania Ave., Centreville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 4187, Expiration Date: 01/13/2023.



## LANDSCAPE PLANTING PLAN

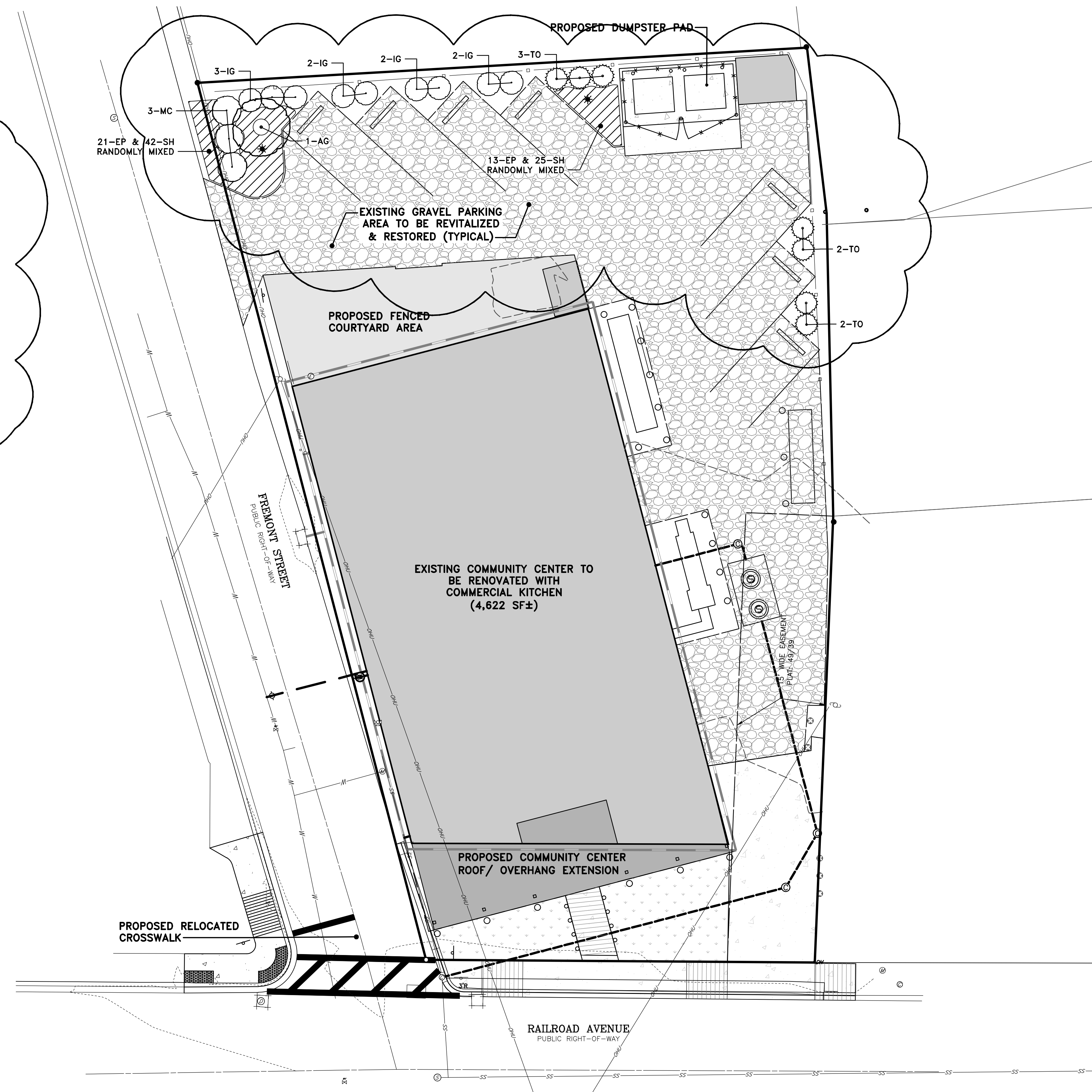
ON THE LANDS OF  
**THE ST. MICHAELS COMMUNITY CENTER, INC.**  
 IN THE TOWN OF ST. MICHAELS, MARYLAND  
 TALBOT COUNTY, MARYLAND  
 TAX MAP 200, PARCEL 1552

ISSUED FOR:	DATE:	BY:
AGENCY REVIEW	12/10/20	BCE
AGENCY REVIEW	5/20/21	BCE
CLIENT REVIEW	1/5/22	BCE
AGENCY REVIEW	6/9/22	BCE
FIELD CHANGE EXHIBIT	4/14/23	BCE
AGENCY REVIEW	12/4/23	BCE
FIELD CHANGE EXHIBIT	2/27/24	BCE
AGENCY REVIEW	3/4/24	BCE

SHEET No. 5 OF 5	DATE: 12/10/20
SCALE: AS NOTED	JOB No. 200436
	FILE No. 2569

**PLANT LIST-THIS SHEET ONLY**

SYM	QUAN	SCIENTIFIC NAME	COMMON NAME	SPECIFICATION
<b>EVERGREEN TREES</b>				
TO	7	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' HGT. MIN.
<b>FLOWERING / UNDERSTORY TREES</b>				
AG	1	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2" CAL. MIN.
<b>SHRUBS</b>				
IG	9	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	18" HGT. MIN, 4' O/C
MC	3	MORELLA PENNSYLVANICA 'SILVER SPRITE'	BAYBERRY	18" HGT. MIN, 5' O/C
<b>HERBACEOUS PERENNIALS</b>				
EP	34	ECHINACEA PURPUREA 'POWWOW WILD BERRY'	POWWOW PURPLE CONEFLOWER	QUART, 18" O/C
SH	67	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	QUART, 18" O/C



Date: 03/04/2024 - 11:20am User: rbovner Project Manager: BCE  
 Drawing Path: J:\2024\0400\200436\Civil\3D-200436 (Dwg)\PLOTS\LP--PLTS-200436.dwg | 5 OF 5  
 XREF File(s): BAR-BASE-200436/MD-BASE-200436/RS-BASE-200436/RS-BASE-200436/CSP-BASE-200436/CEC-BASE-200436/LP-BASE-200436